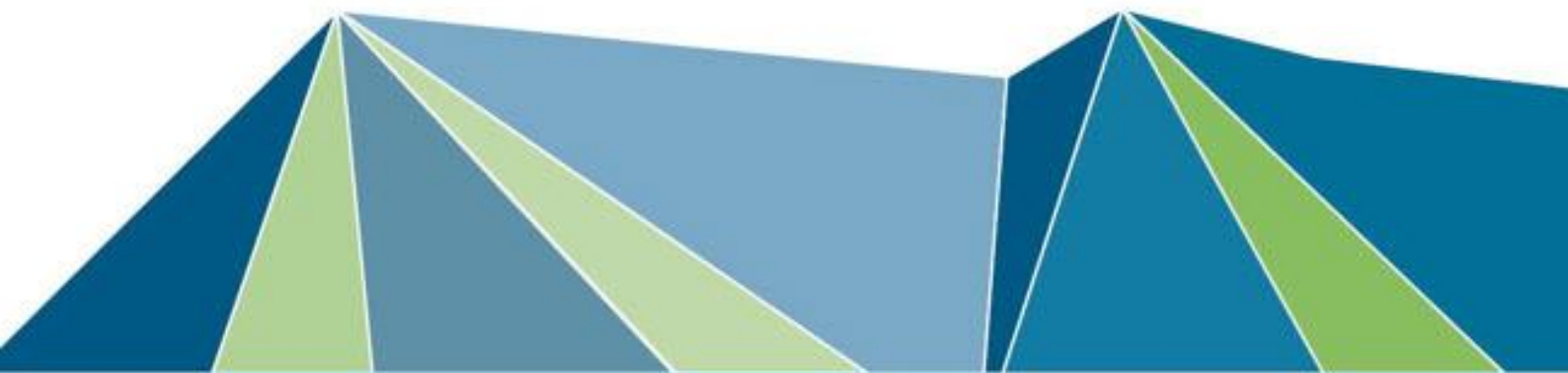


# ATTACHMENTS TO

## *Ordinary Meeting Business Paper*

23 April 2026



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DA 2025/525 - Section 4.15 Assessment

## **DA2025/525 – Alterations and Additions to Existing Centre Based Child Care and Community Facility (Burjum Aboriginal Child and Family Centre) at 10 Hayman Street, West Ballina**

ASSESSMENT OF THE APPLICATION UNDER SECTION 4.15(1) OF THE EP&A Act 1979

### **4.15 (1) (a) (i) - the provisions of any environmental planning instrument**

#### **Local Environmental Plans (LEPs)**

<b>Relevant LEP</b>	<b>Applies (Yes/No)</b>
Ballina Local Environmental Plan 2012	Yes

#### **Ballina LEP 2012 – Zoning, Permissibility and Relevant Clauses**

##### ***Aims, objectives of BLEP (Clause 1.2)***

###### Comment

The proposed development is consistent with the aims and objectives of the BLEP.

##### ***Land use definition (Clause 1.4)***

###### Comment

The proposed uses within the development are classified as a 'centre-based child care facility' and a 'community facility' under the provisions of the BLEP.

The BLEP definitions for 'centre-based child care facility' and 'community facility' are provided as follows:

###### ***centre-based child care facility means—***

*(a) a building or place used for the education and care of children that provides any one or more of the following—*

- (i) long day care,*
- (ii) occasional child care,*
- (iii) out-of-school-hours care (including vacation care),*
- (iv) preschool care, or*

*(b) an approved family day care venue (within the meaning of the Children (Education and Care Services) National Law (NSW)),*

*but does not include—*

- (c) a building or place used for home-based child care or school-based child care, or*
- (d) an office of a family day care service (within the meanings of the Children (Education and Care Services) National Law (NSW)), or*
- (e) a babysitting, playgroup or child-minding service that is organised informally by the parents of the children concerned, or*

(f) a child-minding service that is provided in connection with a recreational or commercial facility (such as a gymnasium) to care for children while the children's parents are using the facility, or  
(g) a service that is concerned primarily with providing lessons or coaching in, or providing for participation in, a cultural, recreational, religious or sporting activity, or providing private tutoring, or  
(h) a child-minding service that is provided by or in a health services facility, but only if the service is established, registered or licensed as part of the institution operating in the facility.

**community facility** means a building or place—

(a) owned or controlled by a public authority or non-profit community organisation, and  
(b) used for the physical, social, cultural or intellectual development or welfare of the community, but does not include an educational establishment, hospital, retail premises, place of public worship or residential accommodation.

---

**Zoning under BLEP 2012, permissibility within zone and regard for zone objectives (Clause 2.3)**

Comment

The site is zoned RE1 Public Recreation under the provisions of the BLEP.

'Centre-based child care facilities' and 'community facilities' are both permitted with consent in the RE1 Public Recreation zone.

The objectives of the RE1 Zone are listed as follows:

- To enable land to be used for public open space or recreational purposes.
- To provide a range of recreational settings and activities and compatible land uses.
- To protect and enhance the natural environment for recreational purposes.
- To provide for a diversity of development that meets the social and cultural needs of the community.
- To provide for public access to open space and natural recreation areas.
- To protect and conserve landscapes in environmentally sensitive areas, particularly in foreshore and visually prominent locations.
- To provide for development that is consistent with any applicable plan of management.
- To encourage development that achieves the efficient use of resources such as energy and water.

The proposal is consistent with the objectives of the RE1 Zone, in particular:

- The existing approved use of the building (community facility and centre-based child care centre) is compatible with the adjacent Porter Park (Objective 2);
- The existing approved use of the building meets the social and cultural needs of the community (Objective 4); and
- The development that is consistent with Council's generic plan of management (Objective 7).

---

**Height of Buildings (Clause 4.3)**

Comment

Complies. The proposed single level building addition has a height of 4.135m, which complies with the maximum building height for the site of 8.5m.

---

**Height of Buildings (Clause 4.3)**

Comment

Complies. The site is mapped on the Building Height Allowance Map, which includes a specific provision for the measurement of building heights on flood prone land from 2m AHD or existing ground level where it is higher than 2m AHD. The existing ground level is slightly higher than 2m AHD and therefore the height of the building is to be measured from the existing ground level.

---

**Infrastructure development and use of existing buildings of the Crown (Clause 5.12)**

Comment

The BLEP does not prohibit the carrying out of the proposed development by the Crown.

---

**Flood Planning (Clause 5.21)**

Comment

This clause applies to the proposed development as the site is mapped as being within the flood planning area.

Clause 5.21(2) states:

*(2) Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development—*

- a. is compatible with the flood function and behaviour on the land, and*
- b. will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and*
- c. will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and*
- d. incorporates appropriate measures to manage risk to life in the event of a flood, and*
- e. will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.*

The proposed alterations and additions to the existing community facility and centre-based child care facility are considered to be compatible with the flood function and behaviour on the land, given:

- The alterations and additions seek to improve existing facilities and are not proposed to increase the number of child care places, the number of staff or the number of people attending the community facility.
- The floor level of the proposed addition will be constructed at the same level of the existing building and is satisfactory having regard to the use of the building and the flood risk of the site.

The minor increase in the building footprint (97.3m<sup>2</sup>) is not considered to adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties.

The development will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood.

The development is not considered to increase the risk to life in the event of a flood given the works are proposed to improve existing facilities and are not proposed to increase the number of people attending the site. In this regard, maintaining the floor level of the proposed addition is at the same level of the existing building and is a sufficient measure having regard to the use of the building and the flood risk of the site.

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DA 2025/525 - Section 4.15 Assessment

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The proposed development will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.

---

***Acid Sulfate Soils (Clause 7.1)***

Comment

An Acid Sulfate Soil Management Plan has been submitted as part of the DA given the site is mapped having class 2 Acid Sulfate Soils and the development includes works below the natural ground surface.

Council's Environmental Health Officer has reviewed the plan and is satisfied that the development will not disturb, expose or drain acid sulfate soils or cause environmental damage.

---

***Earthworks (Clause 7.2)***

Comment

The DA proposes relatively minor earthworks on a flat site within West Ballina. Subject to conditions, the proposed development is not considered to have an adverse impact upon the environment, drainage patterns, waterways, adjoining properties or relics.

---

***Essential Services (Clause 7.7)***

Comment

The site is located within West Ballina and suitable water, sewerage, stormwater and telecommunications services are available to the proposed development.

The site has an existing vehicular access to Hayman Street and proposes a new (second) vehicular access that has been assessed as being acceptable by Council's Development Engineers.

---

**State Environmental Planning Policies (SEPPs)**

***SEPP (Transport and Infrastructure) 2021***

***Chapter 2 Infrastructure (Electricity Network)***

Clause 2.48 of Subdivision 2 (Subdivision 2 Development likely to affect an electricity transmission or distribution network) of this SEPP applies to development that proposes the penetration of ground within 2m of an underground electricity power line or an electricity distribution pole.

Council's mapping shows an underground powerline traversing part of the front of the site. While the proposed building addition is well removed, the proposed new driveway traverses over the location of underground powerline. As a result, the DA was referred to Essential Energy under clause 2.48(2)(a) of the SEPP.

Essential Energy reviewed the DA and raised no safety concerns in relation to the proposed development.

Chapter 3 Educational establishments and child care facilities

The proposal converts 27.7m<sup>2</sup> of the GFA of the existing community facility part of the building into a breakout room (for children with special needs), storeroom and WC for staff of the child care centre. This increased floor area provides improved facilities only and will not result in any increase to the number of approved child care places or the number of staff.

**Clause 3.22 – Centre-based child care facility—concurrence of Regulatory Authority required for certain development**

- (1) *This section applies to development for the purpose of a centre-based child care facility if—*
- a. *the floor area of the building or place does not comply with regulation 107 (indoor unencumbered space requirements) of the [Education and Care Services National Regulations](#), or*
  - b. *the outdoor space requirements for the building or place do not comply with regulation 108 (outdoor unencumbered space requirements) of those Regulations.*

(2) *The consent authority must not grant development consent to development to which this section applies except with the concurrence of the Regulatory Authority.*

Comment:

The DA increases the indoor unencumbered floor area of the existing approved centre-based child care facility, while not increasing the approved number of children. As a result, the DA improves the indoor unencumbered space ratio of the centre-based child care facility and therefore concurrence of the Regulatory Authority is not considered to be required prior to any consent being granted.

**Clause 3.23 – Centre-based child care facility—matters for consideration by consent authorities**

Before determining a DA for development for the purpose of a centre-based child care facility, Council must take into consideration any applicable provisions of the Child Care Planning Guideline.

An assessment of the applicable provisions of the Child Care Planning Guideline is provided in the table below.

Principle	Assessment Comment
<i>Context</i>	Satisfactory. The proposal relates to minor alterations to an existing approved centre-based child care facility and are considered appropriate having regard to the context and setting of the site.
<i>Built Form</i>	<p>Satisfactory. The increased floor area for the centre-based child care facility results from internal alterations to the existing building and does not change the built form of the existing building other than improving the internal amenity of the child care facility.</p> <p>Notwithstanding the above, the proposed addition to the community facility component of the building is considered to be compatible with the design of the existing building and the built form of the surrounding locality and is considered to contribute to the streetscape and adjoining park (Porter Park).</p>

<i>Adaptive Learning Spaces</i>	Satisfactory. The DA is consistent with this principle in that the proposed internal alterations provide improved learning facilities for the centre-based child care facility, including a break-out room that will provide a separate, quiet area for staff to manage children with special needs.
<i>Sustainability</i>	Satisfactory. The alterations to the centre-based child care facility are considered to have adequate regard to sustainability principles, in that the break-out room includes a new window, which will provide increased natural light and will improve cross ventilation for the facility.
<i>Landscape</i>	Satisfactory. The DA does not change the existing landscape areas of the centre based child care facility.
<i>Amenity</i>	Satisfactory. The proposed development will improve the internal amenity of the centre based child care facility by providing a break-out room for children with special needs, a new store room and an additional staff toilet.  The proposed development will not adversely impact upon the amenity of the adjoining properties.
<i>Safety</i>	Satisfactory. The proposed alterations will not compromise the safety of the centre based child care facility.
<b>Matters for Consideration</b>	<b>Assessment Comment</b>
<i>Site Selection and Location</i>	Satisfactory. As the proposal relates to minor alterations to an existing approved centre-based child care facility, consideration of site selection and location is not directly applicable.
<i>Local character, streetscape and the public domain interface</i>	Satisfactory. The increased floor area for the centre-based child care facility results from internal alterations to the existing building and does not impact the local character, streetscape or public domain interface.  Notwithstanding the above, the design of the proposed addition to the community facility component of the building is compatible with the local character, contributes to the streetscape and has a positive interface with the street and adjoining public reserve (Porter Park).
<i>Building orientation, envelope, building design and accessibility</i>	Satisfactory. The proposed alterations and additions maintain the existing orientation of the building, with the community facility component of the development facing the street and the child care centre component facing the rear of the site.  The proposed alterations and additions are sited well behind the front setback of the existing building and maintain the existing side boundary setback.  The design and built form of the proposed alterations and additions are compatible with the character of the existing building and the surrounding locality and will not have an adverse impact upon the adjoining public reserve (Porter Park).  The proposed alterations do not compromise accessibility to the centre based child care facility.

<i>Landscaping</i>	Satisfactory. The DA does not change the existing landscape areas of the centre based child care facility.
<i>Visual and acoustic privacy</i>	Satisfactory. The proposed alterations to the centre based child care facility do not result in any adverse visual or acoustic privacy impacts.
<i>Noise and air pollution</i>	Satisfactory. The proposed alterations to the centre based child care facility do not result in any adverse noise or air pollution impacts.
<i>Hours of operation</i>	Satisfactory. The DA does not change the existing approved hours of operation of the centre-based child care facility.
<i>Traffic, parking and pedestrian circulation</i>	<p>Satisfactory. The proposal does not increase the number of children or staff at the centre based child care facility and therefore does not generate any additional parking demand.</p> <p>The centre based child care facility will continue to be serviced by the existing driveway off Hayman Street and the existing car park.</p> <p>The extended driveway and second vehicular access to Hayman Street, to facilitate a mini-bus drop off / pick up bay, is not considered to adversely impact upon the vehicular access and parking for the centre based child care facility.</p> <p>The extended driveway does impact upon the existing pedestrian pathway from the street to the main foyer of the building. A condition will be applied requiring the development to provide a pedestrian pathway from the street footpath to the main foyer of the building.</p> <p><b>Note:</b> more detailed commentary in relation to access and parking is provided below in this report.</p>
<b>National Regulations to development proposals</b>	<b>Assessment Comments</b>
<i>4.1 Indoor space requirements</i>	<p>Satisfactory. The DA proposes a new break out room (16m<sup>2</sup>) for the centre based child care facility, which increases the unencumbered indoor space while not increasing the number of children.</p> <p>This section states that the design of all unencumbered indoor spaces must allow for the safe supervision of children, within each space. The new break out room does include a narrow window adjacent to the door, however this is not considered sufficient to provide surveillance of the entire room. To address this, a condition is proposed that a larger window be provided to the breakout room to better facilitate supervision of children in the room.</p> <p>The proposal increases the storage space available for the centre based child care facility which is good outcome for the centre.</p>
<i>4.2 Laundry and hygiene facilities</i>	Not applicable.
<i>4.3 Toilet and hygiene facilities</i>	Satisfactory. The proposed new toilet is for staff and not for children and therefore is not required to meet all the relevant requirements of this regulation.

4.4 <i>Ventilation and natural light</i>	Satisfactory. The proposed new break out room is provided with an external window that is considered to provide adequate natural light and ventilation to the space.
4.5 <i>Administrative space</i>	Not applicable.
4.6 <i>Nappy change facilities</i>	Not applicable.
4.7 <i>Premises designed to facilitate supervision</i>	This section states that the design should seek to avoid room layouts with hidden corners where supervision is poor. The proposed breakout room does include a narrow window adjacent to the door, however this is not considered sufficient to provide surveillance of the entire room and will create hidden corners. To address this, a condition is proposed that a larger window be provided to the breakout room to better facilitate supervision of children in the room.  Subject to the above condition, the proposed development is considered to have had satisfactory regard to this design requirement.
4.8 <i>Emergency and evacuation procedures</i>	Satisfactory. The facilities emergency and evacuation procedures will need to be updated to include consideration of the proposed new breakout room, storage area and WC.
4.9 <i>Outdoor space requirements</i>	Not applicable.
4.10 <i>Natural environment</i>	Not applicable.
4.11 <i>Shade</i>	Not applicable.
4.12 <i>Fencing</i>	Not applicable.
4.13 <i>Soil assessment</i>	Not applicable.

### ***State Environmental Planning Policy (Resilience and Hazards) 2021***

#### ***Chapter 2 Coastal Management***

The subject land is sited within the coastal environment area and the coastal use area.

#### ***Clause 2.10 – Coastal Environment Area***

The proposed minor alterations and additions are not considered to result in any adverse impacts upon:

- a. the integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment
- b. coastal environmental values and natural coastal processes
- c. the water quality of any marine estate
- d. marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms
- e. existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability
- f. Aboriginal cultural heritage, practices and places and

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DA 2025/525 - Section 4.15 Assessment

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g. the use of the surf zone.

*Clause 2.11 – Coastal Use Area*

The proposed minor alterations and additions are considered to result in any adverse impacts upon:

- i) existing, safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability
- ii) overshadowing, wind funnelling and the loss of views from public places to foreshores
- iii) the visual amenity and scenic qualities of the coast, including coastal headlands
- iv) Aboriginal cultural heritage, practices and places and
- v) cultural and built environment heritage.

Chapter 4 Remediation of Land

This chapter requires that a consent authority must not consent to any development of a site unless it has considered whether the site is contaminated, and if it is contaminated, whether the site is suitable for or can be made suitable for the purpose of the proposed development.

Council's EHO has reviewed the proposed development and is satisfied that from a contamination perspective, the land is suitable for the current and ongoing land uses. In this regard, it is particularly noted that the property is not:

- recorded on Council's Contaminated Land Register or Mapping Layer
- on the EPA List of Contaminated Sites, Contaminated Land Record, list of licensed premises, notices, orders, audits or pollution protection programs
- impacted by a dip site or 200m investigated area
- on the Loose-Fill Asbestos Insulation Register and
- identified as a site likely to be impacted by large quantities of PFAS under the NSW Government PFAS Investigation Programs.

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***4.15 (1) (a) (ii) – any proposed instrument that is or has been the subject of public consultation under the EP&A Act and that has been notified to the consent authority (unless the Director-General has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)***

---

**Draft Climate Change and Natural Hazards State Environmental Planning Policy**

The explanation of intended effect was placed on public exhibition on 17 February 2026.

There are no specific provisions outlined in a draft policy document, with the explanation documentation providing key concepts and issues to be addressed in developing a new policy for the State.

The key concepts and issues are addressed below:

**1. A clearer, simpler and consistent approach to climate change and natural hazards**

Comment: The proposal has considered climate change and relevant natural hazards (i.e. flooding) in it's design and is consistent with the applicable legislation (i.e. clause 5.21 of BLEP and Chapter

2B of Ballina DCP). No issues are identified with the proposal in regard to its approach to climate risk and natural hazards.

## **2. Climate Change**

Comment: The subject site is located in West Ballina and is subject to flooding, however is not subject to any direct coastal erosion hazards or risks. The proposed development is considered to be appropriately designed and can be operated with regard to any future impacts of climate change. In this regard, it is particularly noted that the flood and floor levels in Chapter 2B of the DCP take into consideration climate change forecasts.

The proposal is generally consistent with the draft Climate Change Scenario Guidelines.

## **3. Urban Heat**

Comment: The design of the proposal is considered to have satisfactory regard to urban heat principles, through:

- the provisions of new openings (doors and windows) to the north and west elevations of the new building, allowing for increased natural light and ventilation
- the provision of a covered deck that provides shade to users of the community facility
- a light coloured roof to reflect heat and
- a design that maintains the existing mature trees on the site.

The proposal is generally consistent with the draft NSW Urban Heat Policy for Land Use Planning (Urban Heat Policy).

## **4. Bush fire**

Comment: Not applicable.

## **5. Coastal hazards**

Comment: The subject site is located in West Ballina approximately 175m from the Richmond River and as a result is not subject to any direct coastal hazards. The DA has adequate regard to the relevant provisions of SEPP (Resilience and Hazards) 2021.

## **6. Flooding**

Comment: As detailed in this report, the proposed development is satisfactorily consistent with the relevant provisions of clause 5.21 of the BLEP and Chapter 2B (Floodplain Management) of the Ballina DCP. The flood levels in Chapter 2B of the Ballina DCP take into consideration projected climate change forecasts.

In view of the above, the development has been designed to adequately respond to the flood hazard of the site.

## **7. Rebuilding after natural disasters**

Comment: Not applicable.

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#### **8. Consequential amendments**

Comment: no issues identified

No permissibility or compliance issues identified with regard to the draft Climate Change and Natural Hazards SEPP.

#### **General Amendments Planning Proposal - PP-2025-1660**

Ballina Council resolved to initiate a series of minor amendments and corrections to its Local Environmental Plan (LEP). The General Amendments Planning Proposal 2025 (PP-2025-1660) relate to the following amendments:

- 1. Cumbalum** (*Remove historical dwelling entitlement from map in an area where residential subdivision has occurred*)

Comment: Not applicable.

- 2. Lennox Head heritage items** (*More precisely locate heritage items within a new residential area and remove items that are contained within land that is deferred from the 2012 LEP*).

Comment: Not applicable.

- 3. Wollongbar, change of zone** (*Change of zone from R2 Low Density Residential to R3 Medium Density Residential at 5 Smiths Lane*)

Comment: Not applicable.

- 4. Exhibition Homes (Shire Wide)** (*Add a new clause that will allow an approved dwelling or dual occupancy to be used as an 'exhibition home' as Exempt Development*)

Comment: Not applicable.

- 5. Lennox Head and Alstonville change to height of building controls** (*Increase the maximum height of building controls from 9m to 10m at Alstonville and 11m at Lennox Head within areas zoned as E1 Local Centre*)

Comment: Not applicable.

- 6. Alstonville, Tuckumbil Quarry** (*Add 'camping grounds' as another form of permissible on-site accommodation and add 'recreation facilities (outdoor)' as a use that can be associated with on-site accommodation options*)

Comment: Not applicable.

**7. Dual Occupancy, Rural Zones** (*Add a new subclause that requires impact on scenic amenity to be considered*)

Comment: Not applicable.

**8. Rural Workers Dwellings, Rural Zones** (*Remove 'rural workers dwellings' as a permissible form of housing in zones RU1 and RU2 where detached dual occupancy is permitted*)

Comment: Not applicable.

**9. Ballina airport** (*Change the categorization of two closed roads from Community to Operation land*)

Comment: Not applicable.

**10. Shire wide, dual occupancy in R2 zone** (*Add dual occupancy as permitted with consent with the R2 Low Density Residential zone and remove existing clauses that would become redundant*).

Comment: Not applicable.

---

**4.15 (1) (a) (iii) – any development control plan (DCP)**

**Ballina Shire Development Control Plan 2012**

The following chapters of the Ballina Shire DCP 2012 is applicable to the site.

For the purposes of this report only those controls of direct relevance to the assessment are addressed.

---

**Chapter 2 – General and Environmental Considerations**

**Part 3 General Controls**

Development Control	Assessment Comment
<b>3.4 Potentially Contaminated Land</b>	Satisfactory. Council's EHO has reviewed the proposed development and is satisfied that from a contamination perspective, the land is suitable for the current and ongoing land uses.
<b>3.6 Mosquito Management</b>	Satisfactory. The site is mapped as being within the 'coastal plains and low lands' management area.  A child care facility is considered a high-risk development type. The proposed development involves only one additional external window to the child care centre, which is proposed to be fitted with an insect screen

	<p>The addition to the community facility includes two sets of bi-fold doors, which are not proposed to be screened. In justification of this, the DA states that two large windows are proposed to the community hub, on either side of the doorway to the deck, and two smaller windows on the western elevation, which will provide ventilation and light in times when the bi-fold doors need to be closed to prevent mosquito entry.</p> <p>Contrary to the applicant's submission, Council's EHO does require all windows, external doors and other openings be provided with effective insect screening and any rainwater tanks shall be fitted with screening of a durable material to prevent mosquito breeding and insect entry. A condition will be applied in this regard.</p>
<b>3.7 Waste Management</b>	<p>Satisfactory. The DA includes a waste management plan for the demolition phase, the construction phase and the operational phase of the development.</p> <p>Council's EHO has reviewed the submitted waste management plans and is satisfied, subject to conditions, that waste from the proposed development will be adequately managed in accordance with the requirements of this control.</p>
<b>3.9 Stormwater Management</b>	<p>Satisfactory. Roof runoff from the proposed addition will be directed to the existing downpipe adjacent to the deck, which will convey roof runoff to the site's existing above ground rainwater tank, with any overflow draining to a lawful point of discharge in the street. Stormwater from the extension to the driveway will be managed via passive irrigation into landscaped areas with overflow conveyed to the external Council system.</p> <p>Council's Development Engineer has reviewed the DA and notes that as the proposed development does not seek to increase the existing GFA by more than 300 m<sup>2</sup> that it is exempt from requiring a Stormwater Management Plan under the applicable Stormwater Guidelines for Development provisions.</p>
<b>3.10 Sediment and Erosion Control</b>	<p>Satisfactory. Council's EHO raised no objection to the development subject to conditions requiring erosion and sediment controls be installed prior to the commencement of works and be maintained throughout the construction process.</p>
<b>3.11 Provision of Services</b>	<p>Satisfactory. The proposed development will be connected to reticulated water, sewer, electricity, and telecommunication services.</p> <p>In addition to maintaining the existing vehicular access to Hayman Street, the DA proposes an extension of the driveway to create a new crossover point to Hayman Street. Council's Development Engineer raises no objection to the new and existing driveway accesses noting that they have adequate sight distances.</p>
<b>3.15 Crime Prevention Through Environmental Design</b>	<p>Satisfactory. The proposed development is considered to have adequate regard to CPTED principles and does not pose an unreasonable safety and security risk. In this regard, the following particular comments are made:</p> <ul style="list-style-type: none"> <li>• The development results in a good level of casual surveillance of the site and surrounds, including the street and adjoining public reserve, by virtue of the siting, design and orientation of new addition.</li> <li>• The pedestrian pathway provide clear sightlines from the street to the building addition.</li> </ul>

	<ul style="list-style-type: none"> <li>• The existing and proposed fencing provides access control to the childcare centre and car park.</li> <li>• the proposed addition provides a legible entry point for the community facility.</li> <li>• The existing fencing, landscaping and signage provide territorial reinforcement to the site from the public domain.</li> <li>• The existing building provides a 'well cared for' image which gives the perception of a defended space, and the proposed addition will be constructed using durable and resilient materials.</li> </ul>														
<p><b>3.18 Protection of Foreshore and Public Open Space Areas</b></p>	<p>Satisfactory. The proposed development does not compromise the public use and enjoyment of adjoining public open space (Porter Park). In this regard, the following particular comments are made:</p> <ul style="list-style-type: none"> <li>• The proposed alterations and addition are sited and designed to provide some outlook to public open space, without appearing to privatise that space.</li> <li>• The proposed alterations and additions are designed to minimise adverse impacts on views to and from public open space.</li> <li>• The proposed alterations and additions are designed to provide a reasonable level casual surveillance of the adjoining public open space.</li> <li>• The height of the proposed alterations and additions is lower than the existing building and as a result will not overshadow the adjoining public open space to a greater extent than the existing building.</li> </ul>														
<p><b>3.19 Car Parking and Access</b></p>	<p><u>Centre Based Child Care Facility</u> The parking requirement for a child care centre is 1 space per 4 children plus drop off / pick up area under Chapter 2 of the Ballina DCP.</p> <p>The DA does not increase the number of children at the child care centre and therefore the alterations to this component of the development does not require any additional on-site parking.</p> <p><u>Community facility</u> This chapter of the Ballina DCP states that the parking requirement for a community facility is to be determined following a merit-based assessment.</p> <p>In considering the merits, Council's Development Engineer deemed the operation of the proposed addition to the community facility (community / technology hub room, new kitchen) was consistent to that of an office premise.</p> <p>As detailed in the table below, when applying the parking rate for an office premise, the proposed development would require the provision of an additional 2 spaces.</p> <table border="1" data-bbox="592 1451 1031 1621"> <thead> <tr> <th colspan="2">Use</th> <th rowspan="2">Proposed GFA</th> <th rowspan="2">Parking Spaces</th> </tr> <tr> <th>Office</th> <th>Rate</th> </tr> </thead> <tbody> <tr> <td></td> <td>1 spaces per 40m<sup>2</sup> of GFA</td> <td>63 m<sup>2</sup></td> <td>1.6</td> </tr> <tr> <td colspan="2"></td> <td><b>Total</b></td> <td><b>2 spaces</b></td> </tr> </tbody> </table>	Use		Proposed GFA	Parking Spaces	Office	Rate		1 spaces per 40m <sup>2</sup> of GFA	63 m <sup>2</sup>	1.6			<b>Total</b>	<b>2 spaces</b>
Use		Proposed GFA	Parking Spaces												
Office	Rate														
	1 spaces per 40m <sup>2</sup> of GFA	63 m <sup>2</sup>	1.6												
		<b>Total</b>	<b>2 spaces</b>												

	<p>The DA does not include any new parking spaces and converts one of the existing parking spaces to a bus drop off / pick up area, resulting in a numerical parking shortfall of three car spaces.</p> <p>The proposed shortfall of three car spaces is assessed as being acceptable in the circumstances for the following reasons:</p> <ul style="list-style-type: none"> <li>• The proposed alterations and additions seek to provide improved facilities in which to undertake existing community programs and services and does not propose to intensify the use or increase staff numbers.</li> <li>• The proposed mini-bus drop-off / pick up aisle provides for a more functional bus service that is considered to reduce demand on standard car parking spaces.</li> <li>• The bus drop-off / pick up area will double as a parking space for the mini-bus, effectively removing that vehicle from the existing parking spaces where it currently parks and reducing the parking shortfall to 2 spaces.</li> <li>• The applicant states that the hours of use of the community hub is complementary to the child-care centre, as the community programs generally operate between the hours of 9am and 2pm, which is outside the peak drop off and pick up times for the child-care centre.</li> </ul> <p><i>Traffic and Access</i> Council's Development Engineer noted that the existing external road network is constructed to a suitable standard (width and pavement) to service the proposed development.</p> <p>The development includes the provision of a dedicated bus drop-off and pick-up zone and a new driveway access onto Hayman Street. A swept-path assessment for a small light vehicle has been provided to demonstrate compliance with access requirements and the available sight distances at the access points are adequate to safely accommodate the proposed development.</p> <p><i>Loading / Unloading</i> Council's Development Engineer commented that there is provision for service and delivery vehicles to enter the site in a forward direction, safely manoeuvre and unload on site and then leave the site in a forward direction.</p> <p>In view of the above, the proposal is considered to meet the planning objectives of the <i>Car Parking and Access</i> chapter of the DCP, and no additional car parking spaces are required.</p>
<b>3.21 Bushfire Management</b>	Site is not mapped as being bushfire prone land.
<b>3.24 Acid Sulfate Soils</b>	<p>Satisfactory. The site is mapped as class 2 acid sulfate soils on the NSW Planning maps and as a result the application has been supported by the submission of an Acid Sulfate Soil Management Plan.</p> <p>Council's EHO has reviewed the proposed development and raised no objection subject to condition requiring the implementation of the submitted Acid Sulfate Soil Management Plan.</p>

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**Chapter 2A – Vegetation Management**

Comment:

The DA does not seek consent for the removal of any trees, however the submitted plans illustrate the proposed extension of the driveway is located approximately 250mm from the trunk of an existing *Melaleuca quinquenervia* (Broad Leaved Paperbark) at the front of the site.

As the proposed driveway is situated within both the Structural Root Zone (SRZ) and the Tree Protection Zone (TPZ) of the existing Broad Leaved Paperbark, the development has the potential to adversely affect the tree's health.

In seeking to mitigate the impact upon the existing tree, the applicant advised that mitigation measures will be implemented in the detailed design of the driveway to protect the tree's root zone, including:

- modifying driveway levels to reduce excavation near the tree
- realigning the driveway further away from the tree and
- adopting a pavement type that supports tree health, such as permeable paving.

Given the proximity of the proposed driveway to the existing tree, it is unclear whether the driveway can be reasonably and practically redesigned to both accommodate the bus drop-off and pick-up area and safeguard the tree's long-term health.

Should the driveway not be able to be reasonably redesigned, there is no objection to the removal of the existing Broad Leaved Paperbark, given its removal is not considered to constitute a significant impact and there is ample opportunity for five off-set plantings (as required by Chapter 2A of the Ballina DCP) on the site or on the adjoining public reserve (Porter Park).

In these circumstances, it is recommended that a condition of consent be imposed requiring one of the following:

1. that the design of the proposed driveway extension be amended to ensure the retention and protection of the existing Broad Leaved Paperbark tree, supported by certification by a suitably qualified Level 5 Arborist confirming that the amended design will adequately protect the tree's health and long-term viability, or
2. where it is demonstrated, to the satisfaction of Council, that the driveway cannot reasonably be redesigned to retain the Broad Leaved Paperbark tree in situ, that the removal of the tree be permitted, subject to being offset with the planting of five new native trees on-site or on the adjacent public reserve (Porter Park).

During consultation on draft conditions of consent, the Crown's representative wrote to Council advising that should removal of the Broad Leaved Paperbark tree be necessary, that the requirement for the planting of five compensatory trees was onerous and requested that this ratio be reduced. Following discussions with Council's Ecologist, it was agreed that a reduced ratio of three to one was reasonable in the circumstances, given the Broad Leaved Paperbark is a common native species found in the Ballina Shire and that there are three other existing mature Broad Leaved Paperbark trees being retained in the front setback of the site.

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**Chapter 2B – Floodplain Management****Comment:**

The site is located in the Medium Flood Risk precinct under this chapter of the DCP.

***Community Facility***

Under the prescriptive measures of this chapter, the community facility is considered to fall within the 'Commercial' land use category (*see below Note*) and is acceptable in the Medium Flood Risk precinct subject to compliance with the following controls:

<b>Control</b>	<b>Complies</b>	<b>Assessment Comment</b>
<b>Floor level</b> – The level of habitable and non-habitable floor areas to be equal to or greater than FPL2 + 0.2m.	Yes	The required floor level is 2.4m AHD (FPL2 + 0.2m).  The alterations and additions are proposed to be constructed at same floor level as the existing building of 2.6m AHD, which exceeds the required floor level of 2.4m AHD.
<b>Building Components and Methods</b> – All structures to have flood compatible building components and methods below FPL2 + 0.5m.	Conditioned to comply	A condition will be applied that the proposed alterations and additions below the 2.7m AHD (FPL2 + 0.5m) are to be constructed using flood compatible materials.
<b>Structural Soundness</b> – Applicant to demonstrate that the structure can withstand the forces of floodwater, debris and buoyancy up to and including FPL2 + 0.5m if required to satisfy evacuation criteria (i.e. use as a refuge area).	Yes	Council's Development Engineer advised: <ul style="list-style-type: none"> <li>the flood velocity for the site is &lt;1.5m/s, which is considered low and</li> <li>normal BCA building requirements are acceptable for this velocity, so there are no special building or engineering requirements are necessary.</li> </ul>
<b>Car Parking</b> – The minimum surface level of open car parking spaces or carports shall be as high as practical, and not below: FPL1.  Restrains or vehicle barriers to be provided to prevent floating vehicles leaving a site during a 100 year flood event as defined by FPL2.	Yes  N/A	The proposed driveway extension where the mini-bus will park is constructed at, or above, a level of 2 to 2.18m AHD, which complies with FPL1 level of 1.9m AHD  The section of driveway extension where the mini-bus will park will be constructed at between 2 to 2.18m AHD, which is only marginally under the level of 2.2m AHD (100 year flood event as defined by FPL2). In this regard, given the negligible extent of flooding in a 100 year flood event as defined by FPL2, a restraints or vehicle barrier is not considered to be required.

**Note:** Community facilities can be categorised as either a 'Sensitive Use and Facility' or a 'Commercial' land use. For the purposes of this DA, it is reasonable to categorise the existing community facility as a 'Commercial' land use (and not a 'Sensitive Use and Facility') given the proposed alterations and additions seek to improve existing facilities for existing programs and do not seek to increase the number of people attending the facility (patrons or staff), and as a result will not increase the developments vulnerability to flood risk.

***Centre Based Child Care Facility***

Under the prescriptive measures of this chapter, the Centre Based Child Care facility is listed to fall within the 'Residential' land use category and is acceptable in the Medium Flood Risk precinct subject to compliance with the following controls:

<b>Control</b>	<b>Complies</b>	<b>Assessment Comment</b>
<b>Floor level</b> – Habitable floor levels to be no lower than FPL2 + 0.5m = 2.7m AHD	No***	<p>Centre Based Child Care facilities are required to have a floor level of 2.7m AHD (FPL2 + 0.5m).</p> <p>The alterations to convert part of the existing community facility into additional rooms for the centre based child-care facility are all internal and therefore will remain at the existing finished floor level of the building (2.6m AHD), which is 100mm lower than the required floor level of 2.7m AHD.</p> <p>Given that the works are entirely internal, it would be unreasonable and impractical to require the relevant portion of the building to be raised by 100mm. This is particularly so as the proposed alterations are intended to improve existing facilities only and will not result in an increase in the approved number of child care places or staff. Accordingly, the proposal will not increase the intensity of use or the flood risk associated with the development.</p> <p>Further, while child care centres are listed under the 'Residential' category within this chapter of the DCP, they differ from residential accommodation in that they do not provide overnight stays. In this respect, a child care centre is arguably more appropriately characterised as a form of non-residential or commercial development, for which a 0.2m freeboard applies, rather than the higher 0.5m freeboard. In this regard, it is also noted that a more recent child care centre approved in West Ballina was permitted with a 0.2m freeboard rather than a 0.5m freeboard.</p> <p>Having regard to the above, the construction of the proposed internal alterations at the existing floor level is considered reasonable, supported on planning merit, and not inconsistent with the objectives of Chapter 2b of the DCP.</p>
<b>Building Components and Methods</b> – All structures to have flood compatible building components and methods below FPL2 + 0.5m.	Conditioned to comply	A condition will be applied that the proposed alterations and additions below the 2.7m AHD (FPL2 + 0.5m) are to be constructed using flood compatible materials.
<b>Structural Soundness</b> – Applicant to demonstrate that the structure can withstand the forces of floodwater, debris and buoyancy up to and including FPL2 + 0.5m if required to satisfy evacuation criteria (i.e. use as a	Yes	<p>Council's Development Engineer advised:</p> <ul style="list-style-type: none"> <li>the flood velocity for the site is &lt;1.5m/s, which is considered low and</li> <li>normal BCA building requirements are acceptable for this velocity, so there are no special building or engineering requirements necessary.</li> </ul>

refuge area). An engineer's report may be required.		
<b>Car Parking –</b> The minimum surface level of open car parking spaces or carports shall be as high as practical, and not below: FPL1.	Yes	The proposed driveway extension where the mini-bus will park is constructed at, or above, a level of 2-2.18m AHD, which complies with FPL1 level of 1.9m AHD
Restraints or vehicle barriers to be provided to prevent floating vehicles leaving a site during a 100 year flood event as defined by FPL2.	N/A	The section of driveway extension where the mini-bus will park will be constructed at between 2 – 2.18m AHD, which is only marginally under the level of 2.2m AHD (100 year flood event as defined by FPL2). In this regard, given the negligible extent of flooding in a 100 year flood event as defined by FPL2, a restraints or vehicle barrier is not considered to be required.

Clause 3.8 of this Chapter states: *Allotments within flood liable land where 2050 climate change conditions apply and on which buildings are proposed to be erected are to filled wholly or partly (i.e. to provide a building pad) to a minimum fill level as shown on maps contained within Schedule 1.*

The minimum fill level for the site is 2.1m AHD. The survey submitted with the DA illustrates that the part of the site subject of the proposed alterations and additions complies with this requirement as it is above 2.1m AHD.

**4.15 (1) (a) (iia) – any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4**

Not Applicable.

**4.15 (1) (a) (iv) – any matters prescribed by the regulations**

If the DA is for the demolition of a building, consider the **provisions of AS 2601-1991: The demolition of structures** (as in force 1 July 1993):

As the DA is for the demolition of part of the existing building, a condition will be applied ensuring that the demolition works are undertaken in accordance with the provisions of AS 2601-1991.

If the DA is only for a change of use or the use of an existing building as a place of public entertainment, **is the fire protection and structural capacity of the building appropriate to the building's proposed use?**

Not applicable.

If the DA involves the rebuilding/ alteration/enlargement/extension of an existing building, **is the existing building required to be brought into total or partial conformity with the Building Code of Australia (BCA)?**

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Council's Building Surveyor has assessed the DA against the relevant provision of the BCA and raised no objections subject to conditions of consent.

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If the DA is for the erection of a temporary structure, **is the fire protection and structural capacity of the structure appropriate to the proposed use of the structure?, and is the ground or other surface, on which the structure is to be erected, sufficiently firm and level to sustain the structure while in use?**

Not applicable.

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**4.15 (1) (b) – the likely impacts of that development**

**Urban and Building Design**

**i) Context and Settings**

Satisfactory. The proposed alterations and additions are considered appropriate to the context and setting of the site. In this regard, it is particularly noted:

- The proposal is to improve existing facilities and does not seek to intensify the approved uses or increase the number of people attending the site.
  - The built form of the proposed alterations and additions is compatible with the character of the existing building on the site and the surrounding locality and is considered to enhance the appearance of the building from the street and adjoining public reserve.
  - The proposed alterations and additions do not result in any unreasonable overlooking or overshadowing of any adjoining allotment.
  - The development does not result in any view loss.
  - The development does not result in any unreasonable conflicts with adjoining land uses.
- 

**ii) Site Design and Internal Design**

Satisfactory. The siting and design of the proposed alterations and additions are appropriate to the site conditions and attributes of the site. In this regard, it is particularly noted:

- The design and materials of the proposed alteration and additions are compatible with the existing building on the site and are considered to contribute to the streetscape.
  - The alterations and additions are well setback from the street and any nearby residential dwellings.
  - The proposed alterations and addition enhance the natural light and ventilation to the existing building.
  - The proposed alterations and addition are at the same floor level of the existing building and do not compromise accessibility.
  - The alterations and additions will receive good natural sunlight, as well as enhancing the buildings casual surveillance of the public domain (street and public reserve).
- 

**iii) Ecologically Sustainable Building Design**

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Satisfactory. The Development has been satisfactorily designed to reflect heat, reduce reliance on artificial lighting and to facilitate natural ventilation. Furthermore, conditions of consent will be applied in relation to compliance with the section J (Energy Efficiency) provisions of the Building Code of Australia and to minimise water use within buildings.

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**iv) Access, Transport and Traffic**

Satisfactory. Council's Development Engineer raised no objection to the proposed development and is satisfied that:

- The development has adequate vehicular access to and from the street network.
  - A small light vehicle can manoeuvre through the dedicated bus drop-off and pick-up zone.
  - The surrounding road network is adequate to accommodate the traffic generated by the proposed development.
  - The development has adequate pedestrian access via footpaths along Hayman Street.
  - The proposed development does not compromise the existing accessible car space on the site.
- 

**v) Public Domain**

Satisfactory. The proposed development does not adversely impact the public domain (street or Porter Park)

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**vi) Utilities**

Satisfactory. The proposed development will be connected to reticulated water, sewer, electricity and telecommunications and stormwater will be drained into Council's stormwater network.

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**vii) Heritage**

Satisfactory. The proposal will not have an adverse impact upon the heritage significance of any known items, landscapes, areas, places or relics. As a precaution, a condition will be applied in relation to the discovery of any relics or Aboriginal objects during construction works.

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**viii) Construction**

Satisfactory. Conditions will be applied to any consent to appropriately manage construction impacts.

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**Environmental Impacts**

**ix) Other Land Resources**

Satisfactory. The proposed development does not adversely impact upon valuable land resources.

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**x) Water**

Satisfactory. The proposed development is not considered to have an adverse impact upon water resources or water quality.

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**xi) Soils**

Satisfactory. The soil is suitable, from a contamination perspective, for the current and ongoing community and child care centre land use. Conditions will be applied to any consent to ensure that acid sulfate soils are appropriately managed and that erosion and sediment control measures are put in place.

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**xii) Air and Microclimate**

Satisfactory. The proposed development is not considered to have an adverse impact upon air quality or the microclimate of the site.

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**xiii) Flora and Fauna**

Satisfactory. Despite the DA not seeking consent to remove any existing trees, the proposed driveway extension at the front of the site is located close to an existing Broad Leaved Paperbark tree and is within both its Structural Root Zone (SRZ) and the Tree Protection Zone (TPZ).

As detailed above in this report, in the circumstances, it is recommended that a condition of consent be imposed requiring one of the following:

1. that the design of the proposed driveway extension be amended to ensure the retention and protection of the existing Broad Leaved Paperbark tree, supported by certification by a suitably qualified Level 5 Arborist confirming that the amended design will adequately protect the tree's health and long-term viability, or
2. where it is demonstrated, to the satisfaction of Council, that the driveway cannot reasonably be redesigned to retain the tree in situ, that the removal of the tree be permitted, subject to being offset with the planting of three new native trees on-site or on the adjacent public reserve (Porter Park).

Subject to the above condition, the DA is not considered to have an unreasonable impact upon the flora and fauna of the site.

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**xiv) Waste**

Satisfactory. The operational waste management arrangements for the development will remain as existing. Conditions will be applied in relation to demolition and construction waste management.

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**xv) Energy**

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Satisfactory. The proposed alterations and additions receive adequate natural light and ventilation. Condition will applied to ensure section J (Energy Efficiency) provisions of the Building Code of Australia.

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#### **Hazards**

##### **xvi) Noise and Vibration**

Satisfactory. The proposed development will not generate offensive noise or vibration.

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##### **xvii) Natural Hazards**

Satisfactory. The proposed development has been designed to adequately mitigate the flood hazard of the site.

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##### **xviii) Technological Hazards**

Satisfactory. There are no unreasonable risks to people, property or the environment from land contamination or building fire risk.

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##### **xix) Safety, Security and Crime Prevention (CPTED)**

Satisfactory. The proposed development has had adequate regard to CPTED principles and does not adversely impact upon the safety and security of the site.

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#### **Social and Economic Impacts**

##### **xx) Social Impacts in the Locality**

Satisfactory. The proposed development is considered to have a positive social impact, in that the development provides improved facilities for the existing community facility (family support and health services) and existing centre based child care centre.

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##### **xxi) Economic Impact in the Locality**

Satisfactory. The proposed development is considered to have a positive economic impact by virtue of the employment it will generate during the demolition and construction phases.

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#### **Cumulative Impacts**

##### **xxii) Cumulative Impacts**

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Satisfactory. The proposed development is not considered to result in any unreasonable cumulative impacts.

**4.15 (1) (c) – The suitability of the site for the development**

**i) Does the proposal fit in the locality?**

Yes. The proposal is considered to satisfactorily fit into the locality.

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**ii) Are the site attributes conducive to development?**

Yes. The site attributes are conducive to the development.

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**4.15 (1) (d) Any submission made in accordance with this Act or the Regulations?**

Is advertising required because the development is designated or “advertised” development? No

Is advertising required in accordance with established Council policy and practice? Yes

In response to the exhibition of the DA, no submissions were received.

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**Public Authority Submissions:**

- **Essential Energy** – reviewed the DA and provided general comments stating that they had no objections in relation to the potential safety risks arising from the proposed development.
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**4.15 (1) (e) The public interest**

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**Federal, State & Local Government interests and Community interests**

The proposed development is satisfactorily consistent with relevant local, state and federal government policies and is satisfactorily in the public interest.

**Council’s Principal Generic Plan of Management (POM)**

The subject land is owned by Council and is classified as ‘community land’ for the purposes of the Local Government Act 1993 (LG Act).

In accordance with the LG Act, the ‘community land’ is categorised for ‘General Community Use’.

Section 35 of the LG Act requires all community land be used and managed in accordance with a plan of management applying to the land, which in this case is Ballina Shire Council's Principal Generic Plan of Management (POM).

In relation to the subject land, the POM includes the following special provisions:

SUBURB	PARK NAME ADDRESS	LAND REGISTER NO.	CATEGORY	IMPROVEMENTS	HISTORY	CONDITION	AUTHORISED OCCUPATION	AUTHORISED USES
WEST BALLINA	BALLINA ABORIGINAL CHILD & FAMILY CENTRE 10 Hayman Ave, West Ballina Lot 1 DP 1181025	2101704	GCU	Community building	Current improvements approved in DA 2011/359.	Excellent	Exclusive occupation of site by organisation appointed with responsibility for care, control and management of child and family centre.	Community facilities comprising childcare centre and family support centre in accordance with development consent (DA 2011/359). Alterations and additions to existing building permitted subject to development consent requirements.

As detailed in the above table, the authorised use of the subject land are:

1. Community facilities comprising childcare centre and family support centre in accordance with development consent (DA 2011/359).
2. Alterations and additions to existing building permitted subject to development consent requirements.

The proposed development is entirely consistent with the above provisions of the POM in that it relates to alterations and additions to the existing community and child care centre facility approved under DA2011/359.

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**Section 64 Contributions and Section 7.4 or 7.11 Contributions**

Development contributions are applicable to the development and will be included as a condition of consent.




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**JARJUM BUGAL NAH ABORIGINAL CHILD AND FAMILY CENTER,  
10 HAYMAN STREET, WEST BALLINA, NSW 2478  
FAMILY CENTER EXTENSION**

DEVELOPMENT DATA	
JOB REFERENCE	
LOCALITY/ SUBURB	BALLINA (BALLINA SHIRE COUNCIL)
STREET ADDRESS	10 HAYMAN STREET, WEST BALLINA 2478
LOT NO. & DP	1 /- / DP1181025
ZONING	RE1- PUBLIC RECREATION (PUB. 25-1-2013)

DRAWING LIST			
DRAWING NO.	TITLE	REV	DATE
DA-001	COVER PAGE	C	04/12/25
DA-002	SITE ANALYSIS PLAN	A	08/10/25
DA-003	DEMOLITION PLAN	B	04/12/25
DA-004	SITE PLAN	B	04/12/25
DA-005	GENERAL ARRANGEMENT PLAN	C	04/12/25
DA-006	REFLECTED CEILING PLAN	C	04/12/25
DA-007	ROOF PLAN	B	27/11/25
DA-008	EXTERNAL ELEVATIONS	B	04/12/25
DA-009	BUILDING SECTIONS	C	04/12/25

**LEGEND :**

-  LOT BOUNDARY
-  BUILDING
-  ENTRY TO THE BUILDING

**GENERAL NOTES:**

- THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS AND DRAWINGS
- ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (CURRENT EDITION) AND AUSTRALIAN STANDARDS INCLUDING 1428.1 (CURRENT EDITION) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
- DIMENSIONS ARE IN MILLIMETERS AND LEVELS ARE IN METERS
- DO NOT SCALE OFF DRAWINGS.
- USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
- PLEASE REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE COMPONENT ( SHOWN INDICATIVELY ONLY IN THIS SET)



VISUAL - INDICATIVE







VISUAL - INDICATIVE



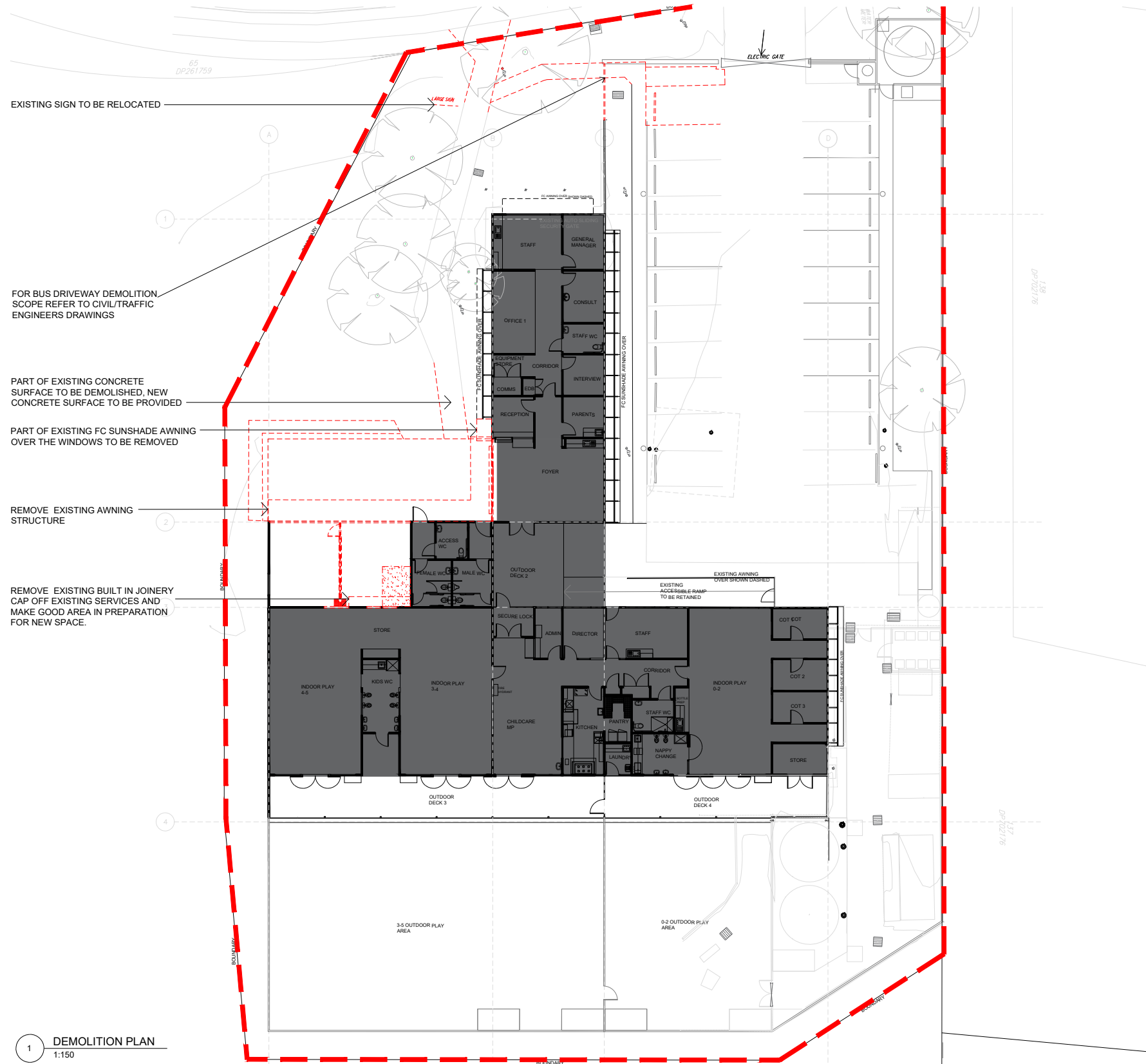
1 LOCATION PLAN  
1:500

Amendments	
Description	Date
A DA SUBMISSION	08/10/25
B DA SUBMISSION	27/11/25
C DA SUBMISSION	04/12/25

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 <p><b>NSW GOVERNMENT</b></p> <p>NSW DEPARTMENT OF COMMUNITIES &amp; JUSTICE 6 Parramatta Square, 10 Darcy Street, Parramatta, NSW 2150</p>	 <p><b>Communities and Justice</b></p>	 <p><b>GENERATE INTERIORS</b> Creating workplaces which engage + empower + inspire</p> <p>GENERATE INTERIORS ABN 40 671 916 475 L14, 5 Martin Place, Sydney NSW 2000 www.generateinteriors.com.au Ph 0421 109 366</p>	 <p><b>CUSTANCE</b></p> <p>CUSTANCE Level 3, 14 Martin Place Sydney NSW 2000 Ph 02 9051 0177</p>	<p>Project Title / Address <b>JARJUM BUGAL NAH ACFC 10 Hayman St., West Ballina, 2478</b></p> <p>Drawing Title <b>COVER PAGE</b></p> <p><b>DA SUBMISSION</b></p>	<table border="1"> <tr> <td>Drawing Created (date)</td> <td>01/08/25</td> </tr> <tr> <td>Drawing Created (by)</td> <td>MD</td> </tr> <tr> <td>Verified</td> <td>JW</td> </tr> <tr> <td>Approved</td> <td>JW</td> </tr> <tr> <td>Scale</td> <td>AS INDICATED @A1</td> </tr> <tr> <td>Project No.</td> <td>2501</td> </tr> <tr> <td>Drawing No.</td> <td>DA-001</td> </tr> <tr> <td>Issue</td> <td>C</td> </tr> </table> <p>All levels and dimensions are to be checked and verified on site prior to the commencement of any work, making of shop drawings or fabrication of components. Do not scale drawings. Use figured Dimensions.</p>	Drawing Created (date)	01/08/25	Drawing Created (by)	MD	Verified	JW	Approved	JW	Scale	AS INDICATED @A1	Project No.	2501	Drawing No.	DA-001	Issue	C
Drawing Created (date)	01/08/25																				
Drawing Created (by)	MD																				
Verified	JW																				
Approved	JW																				
Scale	AS INDICATED @A1																				
Project No.	2501																				
Drawing No.	DA-001																				
Issue	C																				





**LEGEND - DEMOLITION PLAN**

- LOT BOUNDARY
- AREA OUT OF SCOPE
- EXISTING WALLS/COLUMNS
- WINDOWS
- EXISTING BUILDINGS TO BE DEMOLISHED
- SLAB CUT OUT FOR NEW BATHROOM, TO BE CONFIRM BY STRUCTURAL ENGINEER

**SERVICES LEGEND :**

- OVERHEAD POWER LINE
- DP DOWN PIPE
- EPP ELECTRIC POWER POLE
- ELP LIGHT POWER POLE
- PIT STORMWATER PIT

**GENERAL NOTES:**

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**DEMOLITION NOTES:**

1. CONTRACTOR TO PROVIDE DETAILS OF THE PROPOSED HOARDING, FENCING, OVERHEAD PROTECTION AND SCAFFOLDING
2. CONTRACTOR TO PROVIDE DESCRIPTION OF THE PROPOSED SEQUENCE OF CARRYING OUT THE DEMOLITION WORKS AND AN ESTIMATE OF THE TIME, IN DAYS, THAT IT IS LIKELY TO TAKE TO COMPLETE ALL OR EACH OF THE STAGES OF THE WORK.
3. CONTRACTOR TO PROVIDE PROCEDURES FOR HANDLING OF ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION PROCESS IN ACCORDANCE WITH STATUTORY REQUIREMENTS
4. PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/ OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT
5. CARE MUST BE TAKEN WHILE CARRYING OUT THE WORKS
6. PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.
7. REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING
8. EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS
9. BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGE/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

1 DEMOLITION PLAN  
1:150

Amendments	Description	Date
A	DA SUBMISSION	08/10/25
B	DA SUBMISSION	04/12/25



**Communities and Justice**  
NSW DEPARTMENT OF COMMUNITIES & JUSTICE  
6 Parramatta Square, 10 Darcy Street, Parramatta, NSW 2150



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Ph 0421 109 366



**CUSTANCE**  
Level 3, 14 Martin Place  
Sydney NSW 2000  
Ph 02 9051 0177

Project Title / Address  
**JARJUM BUGAL NAH ACFC**  
10 Hayman St., West Ballina, 2478

Client: **COMMUNITIES AND JUSTICE**  
Designer: **GENERATE INTERIORS**  
Architect: **CUSTANCE**

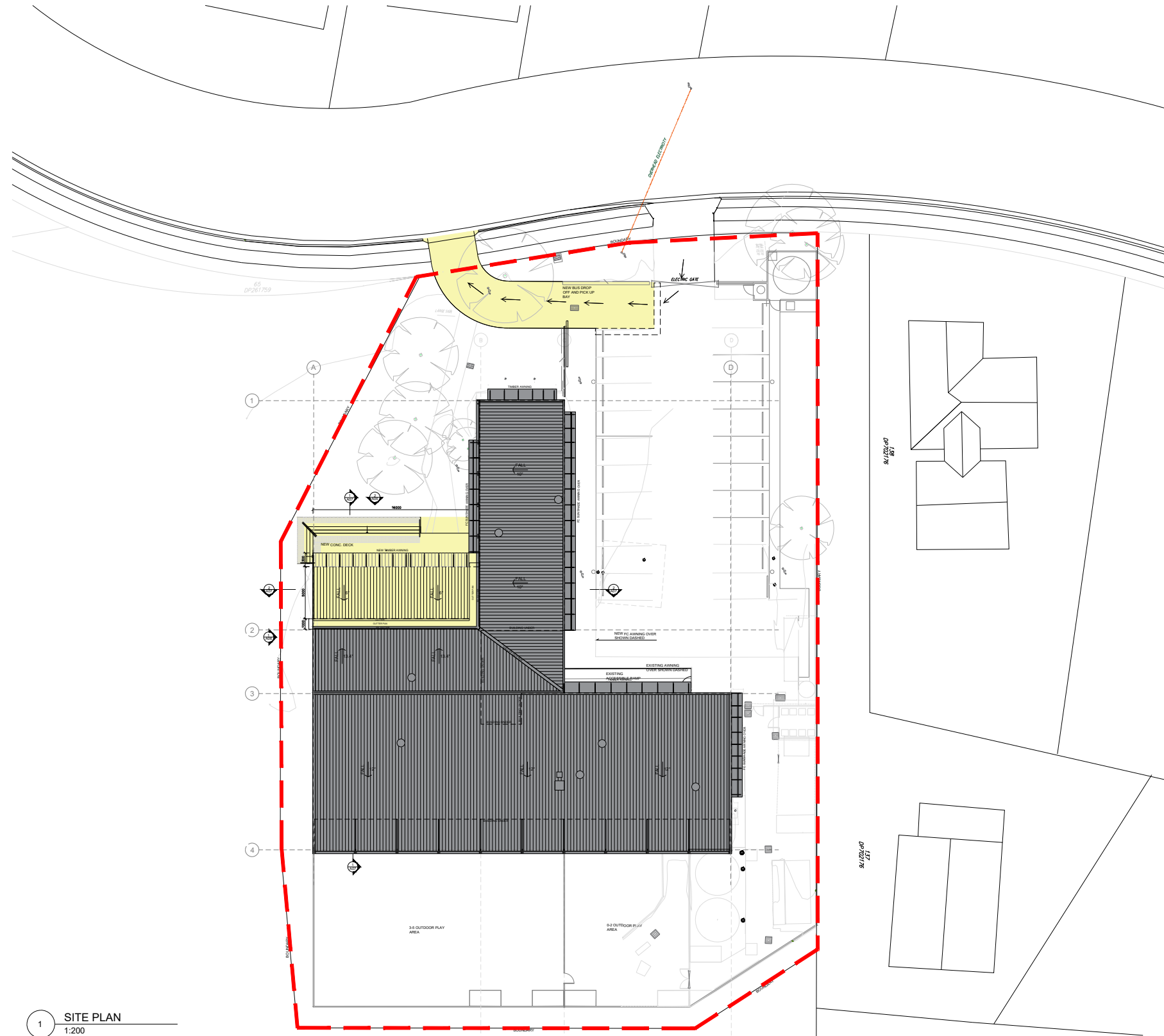
Drawing Created (date)	01/08/25
Drawing Created (by)	MD
Verified	JW
Approved	JW
Scale	1:150@A1

Project No.	Drawing No.	Issue
2501	DA-003	B

**DA SUBMISSION**

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**LEGEND - SITE PLAN**

- AREA OUT OF SCOPE
- AREA IN SCOPE
- LOT BOUNDARY

**SERVICES LEGEND :**

- OVERHEAD POWER LINE
- DP DOWN PIPE
- EPP ELECTRIC POWER POLE
- ELP LGT POWER POLE
- PIT STORMWATER PIT

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1 SITE PLAN  
1:200

Amendments	Description	Date
A	DA SUBMISSION	08/10/25
B	DA SUBMISSION	04/12/25

Client



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6 Parramatta Square, 10 Darcy  
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Designer



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Architect



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Level 3, 14 Martin Place  
Sydney NSW 2000  
Ph 02 9051 0177

Project Title / Address

JARJUM BUGAL NAH ACFC  
10 Hayman St., West Ballina, 2478

Drawing Title  
SITE PLAN

Drawing Created (date)	01/08/25
Drawing Created (by)	MD
Verified	JW
Approved	JW
Scale	1:200@A1

Project No.	Drawing No.	Issue
2501	DA-004	B

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**DA SUBMISSION**



**LEGEND**

- AREA OUT OF SCOPE
- AREA IN SCOPE
- BASE BUILDING/EXISTING WALLS/COLUMNS
- NEW PARTITION
- GLAZED PARTITION
- LOT BOUNDARY

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1 GENERAL ARRANGEMENT PLAN  
1:150

Amendments	Description	Date
A	DA SUBMISSION	09/10/25
B	DA SUBMISSION	27/11/25
C	DA SUBMISSION	04/12/25

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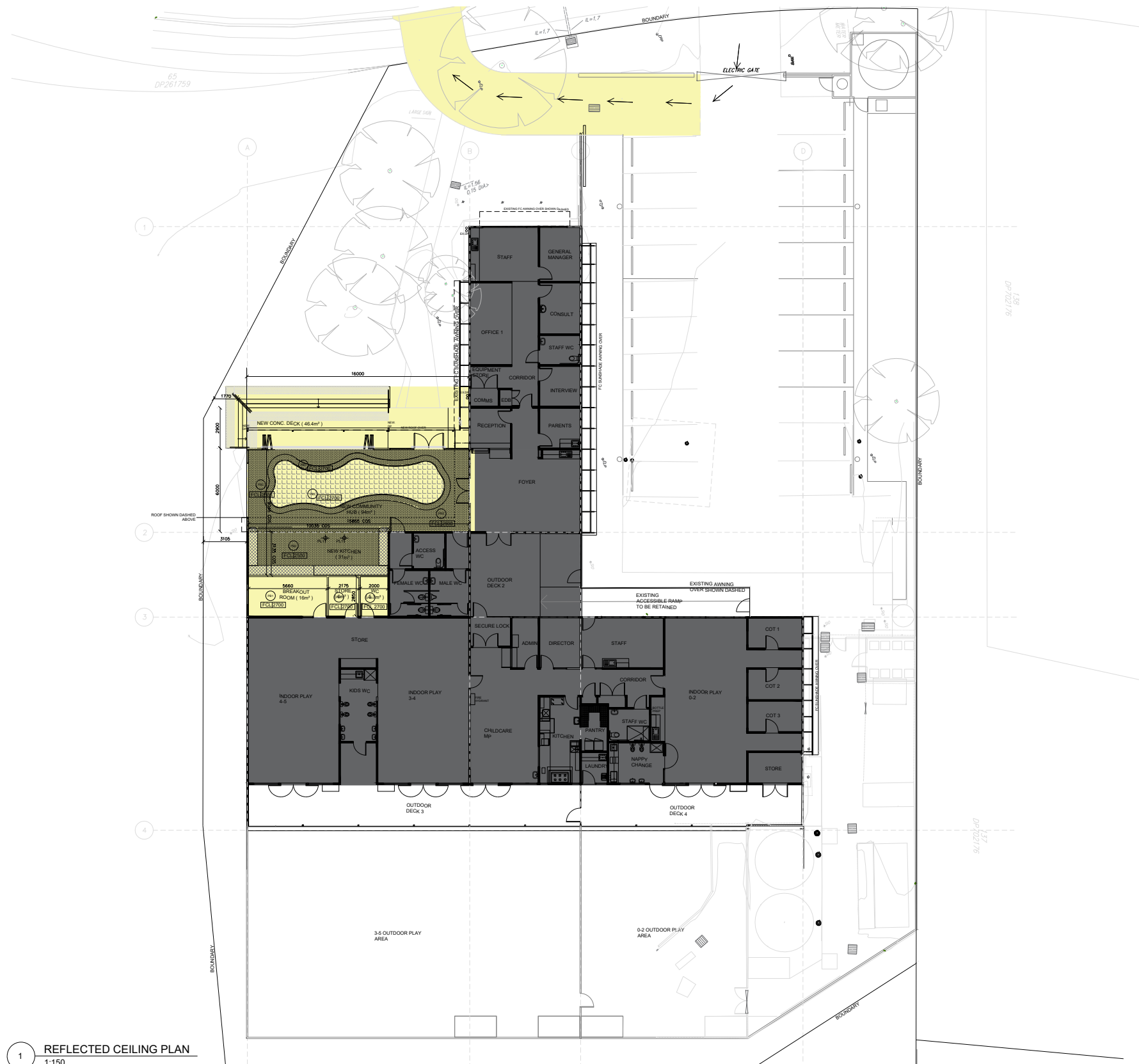
Drawing Title  
**GENERAL ARRANGEMENT PLAN**

Drawing Created (date)	01/08/25
Drawing Created (by)	MD
Verified	JW
Approved	JW
Scale	1:150@A1

Project No. Drawing No. Issue  
**2501 DA-005 C**

**DA SUBMISSION**

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**LEGEND RCP**

- AREA OUT OF SCOPE / EXISTING CEILING
- AREA IN SCOPE
- EXISTING WALLS / DOORS / COLUMNS
- NEW PARTITIONS / DOORS
- EXISTING PLASTERBOARD CEILING ON PERIMETER. REPAIR WHERE NECESSARY PAINT FINISH DULUX PROFESSIONAL CEILING FLAT WHITE U.N.O.
- NEW PLASTERBOARD CEILING TO MATCH EXISTING PAINT FINISH DULUX PROFESSIONAL CEILING FLAT WHITE U.N.O.
- NEW PERFORATED PLASTERBOARD CEILING WITH LINEAR LIGHT AROUND PAINT FINISH DULUX PROFESSIONAL CEILING FLAT WHITE U.N.O.
- NEW JOINERY BELOW CEILING
- FCL2700 FINISHED CEILING LEVEL ABOVE FINISHED FLOOR LEVEL
- NEW FEATURE PENDANT LIGHTS TBC

- GENERAL NOTES:**
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1 REFLECTED CEILING PLAN  
1:150

Amendments	Description	Date
A	DA SUBMISSION	09/10/25
B	DA SUBMISSION	27/11/25
C	DA SUBMISSION	04/12/25



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Project Title / Address  
**JARJUM BUGAL NAH ACFC**  
10 Hayman St., West Ballina, 2478

Drawing Title  
**REFLECTED CEILING PLAN**

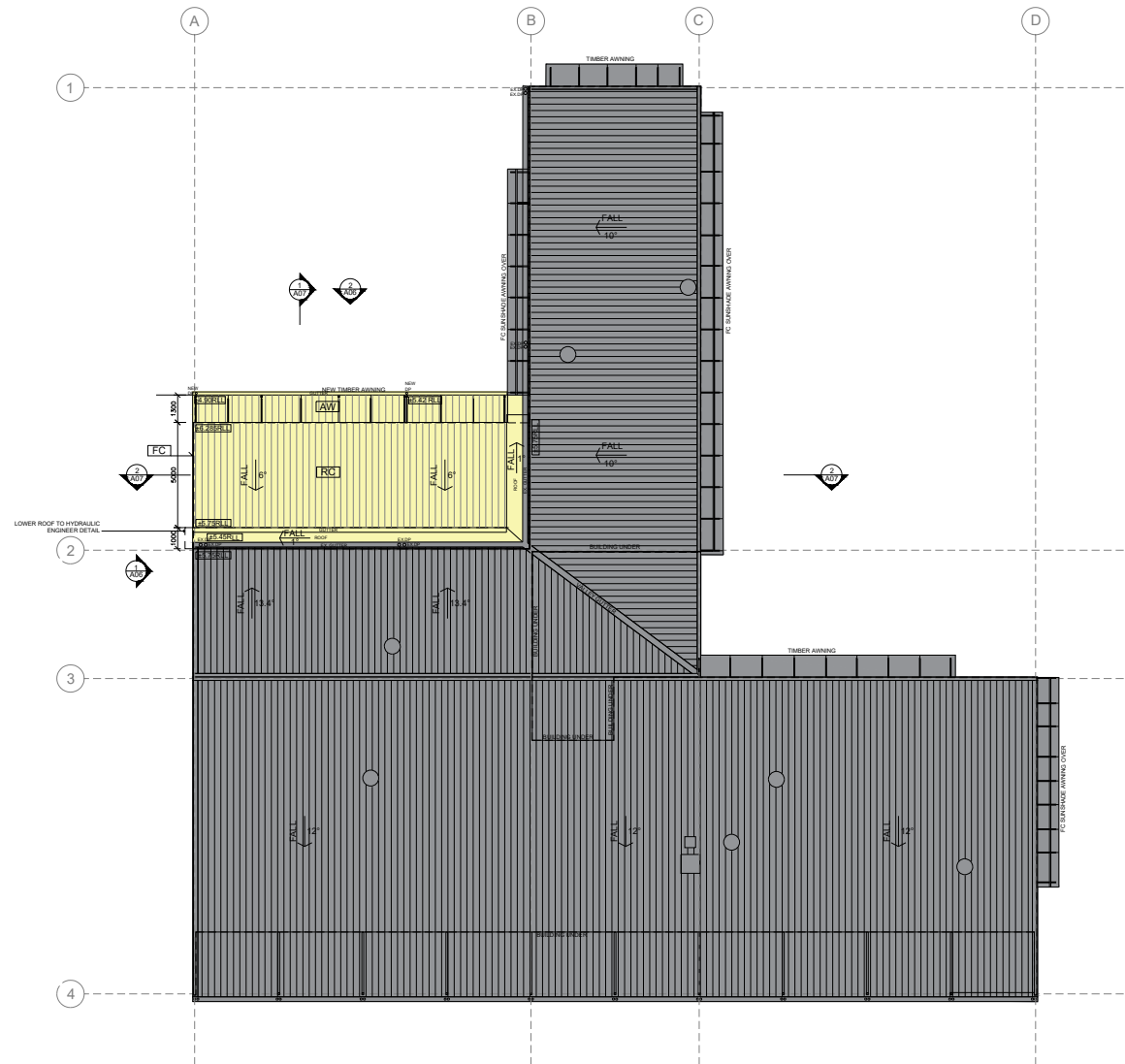
Drawing Created (date)	01/08/25
Drawing Created (by)	MD
Verified	JW
Approved	JW
Scale	1:150@A1

Project No. 2501 Drawing No. DA-006 Issue C

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**LEGEND :**

- OUT OF SCOPE
- - - - BUILDING BORDERS
- RC METAL ROOF CLADDING COLORBOND - COLOR TO MATCH EXISTING
- AW NEW AWNING WITH METAL ROOF CLADDING COLORBOND - COLOR TO MATCH EXISTING
- FC FACIAL CLADDING - COLOR TO MATCH EXISTING
- DP DOWN PIPE

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1 GENERAL ARRANGEMENT PLAN  
1:150

Amendments	Description	Date
A	DA SUBMISSION	08/10/25
B	DA SUBMISSION	27/11/25

Client

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Designer

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Project Title / Address  
**JARJUM BUGAL NAH ACFC**  
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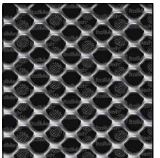

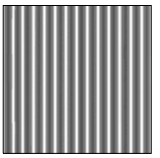

Drawing Title  
**ROOF PLAN**

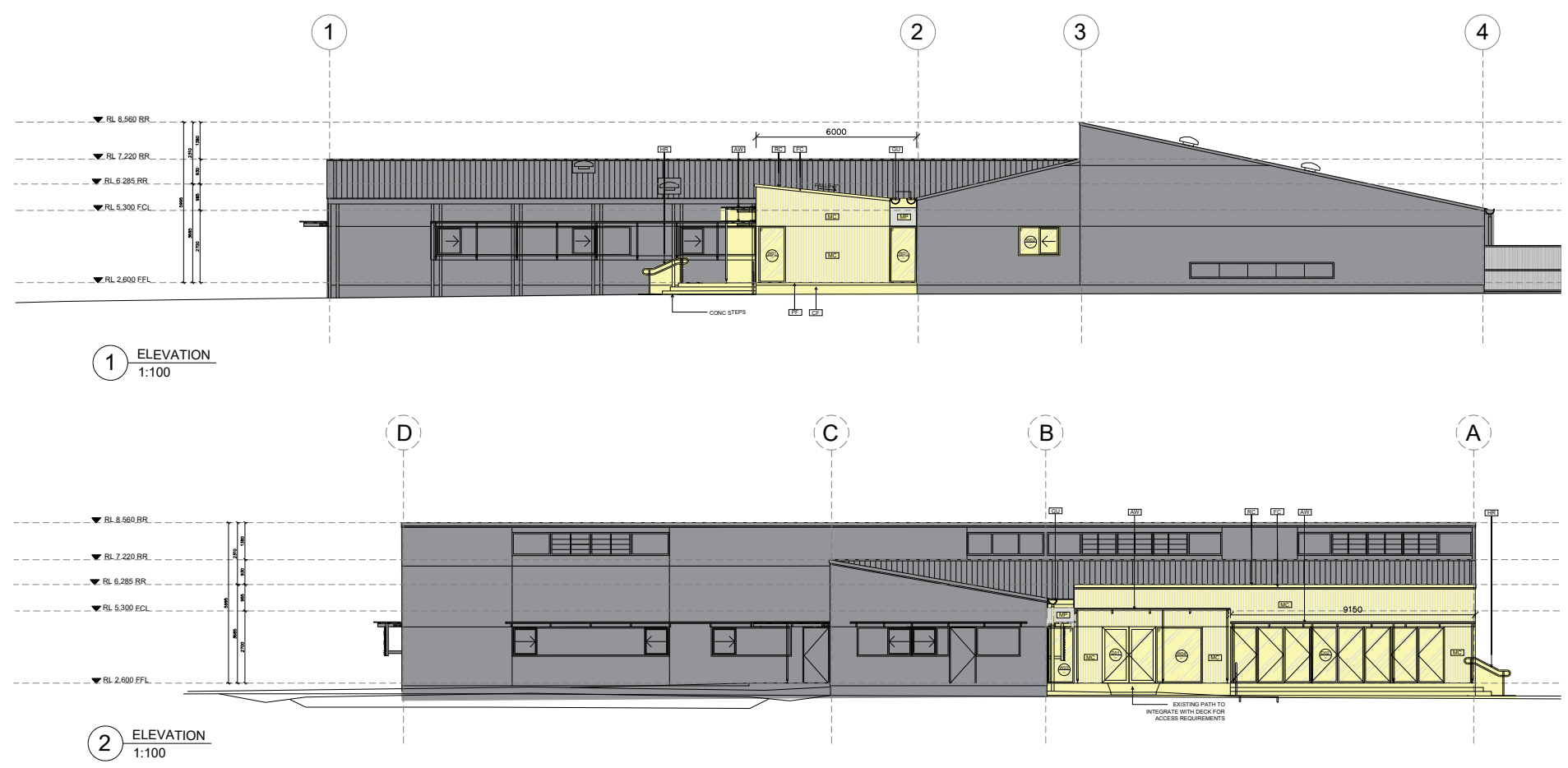
Drawing Created (date)	01/08/25
Drawing Created (by)	MD
Verified	JW
Approved	JW
Scale	1:150@A1
Project No.	2501
Drawing No.	DA-007
Issue	B















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MATERIAL LEGEND :	
	MC - SPOTTED GUM FINISH
	MP - CHARCOAL POWDERCOATED COLOR TO MATCH WINDOW/DOOR FRAME FINISH
	WINDOWS/DOORS FRAME/COLUMNS CHARCOAL PAINT FINISH
	RC/AW - ROOF/AWNING CLADDING - COLOR TO MATCH EXISTING
	HR/PF - CHARCOAL (OR SIMILAR) - TO MATCH WINDOW/DOOR FRAME FINISH



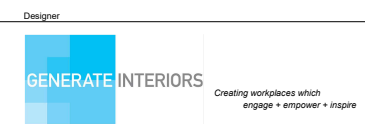
LEGEND :	
	AREA OUT OFF SCOPE
	NEW ADDITION TO BUILDING
	ROOF CLADDING - COLOR TO MATCH EXISTING
	FASCIA CLADDING - COLOR TO MATCH EXISTING
	NEW GUTTER - COLOR TO MATCH EXISTING
	METAL/SOLAR AWNING
	DOWN PIPES - COLOR TO MATCH EXISTING
	METAL/TIMBER WALL CLADDING
	HANDRAIL
	BLACK PAINT FINISH
	CONCRETE FINISH
	PERFORATED METAL CLADDING
	WINDOW
	DOOR

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Amendments	Description	Date
A	DA SUBMISSION	08/10/25
B	DA SUBMISSION	04/12/25



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Project Title / Address  
**JARJUM BUGAL NAH ACFC**  
10 Hayman St., West Ballina, 2478

Drawing Title  
**EXTERNAL ELEVATIONS**

Drawing Created (date)	01/08/25
Drawing Created (by)	MD
Verified	JW
Approved	JW
Scale	1:150@A1

Project No.	Drawing No.	Issue
2501	DA-008	B

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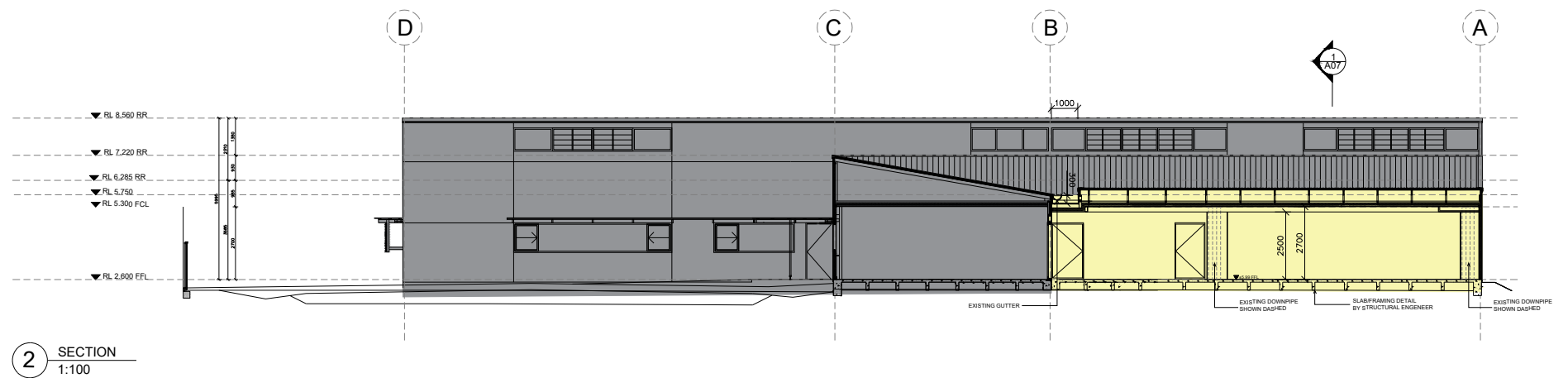
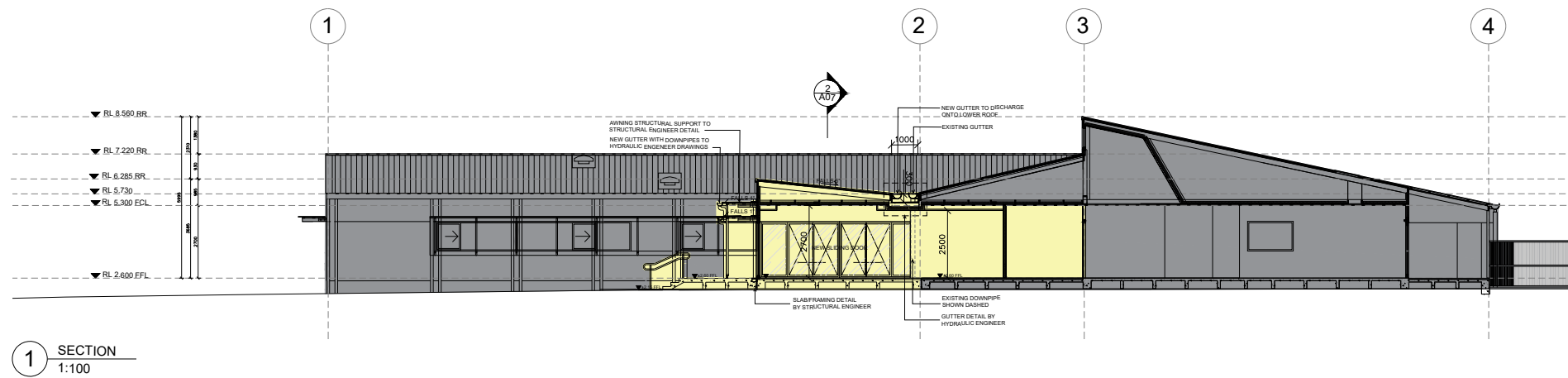
**DA SUBMISSION**

**LEGEND :**

- AREA OUT OF SCOPE
- NEW ADDITION TO BUILDING

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Amendments	Description	Date
A	DA SUBMISSION	09/10/25
B	DA SUBMISSION	27/11/25
C	DA SUBMISSION	04/12/25

Client



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Designer



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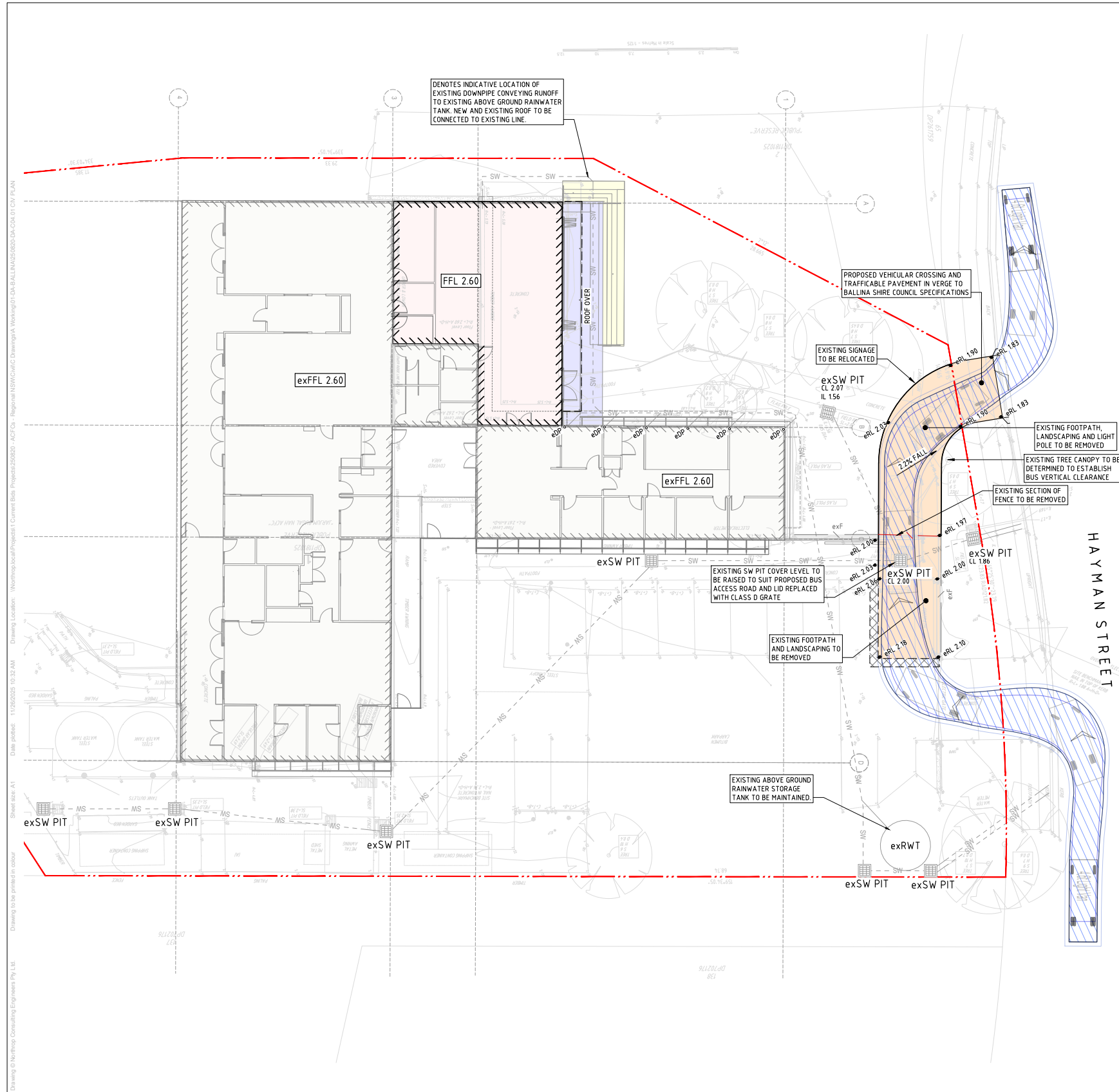
Project Title / Address  
**JARJUM BUGAL NAH ACFC**  
10 Hayman St., West Ballina, 2478

Drawing Created (date)	01/08/25
Drawing Created (by)	MD
Verified	JW
Approved	JW
Scale	1:150@A1
Project No.	2501
Drawing No.	DA-009
Issue	C

**DA SUBMISSION**

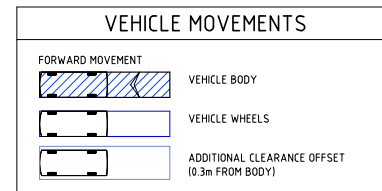
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### VEHICLE PROFILE

4.6t LIGHT VAN	
OVERALL LENGTH	5.89m
OVERALL WIDTH	2.00m
OVERALL BODY HEIGHT	2.53m
TRACK WIDTH	1.77m
LOCK-TO-LOCK TIME	4.00s
KERB TO KERB TURNING RADIUS	6.00m
TRAVELLING SPEED	10 km/h



### DISCLAIMER

THE VEHICLE SWEEP PATHS / TEMPLATES PROVIDED HAVE BEEN PRODUCED USING SIMULATION SOFTWARE AND ARE TO BE USED AS A GUIDE ONLY. THESE SIMULATIONS MAY NOT REFLECT ACTUAL DRIVER BEHAVIOUR AND / OR EXPERIENCE UNDER ACTUAL DRIVING CONDITIONS.

IT IS NORTHROP'S INTENTION TO UTILISE STANDARD VEHICLES NOMINATED IN AS2890 / AUSTRROADS FOR ALL DESIGN / CHECKING VEHICLE SIMULATIONS AT AN IDEAL MOVEMENT SPEED OF 10 km/h WITH A MINIMUM VEHICLE BODY OFFSET OF 0.3m.

IF THE USE OF SPECIFIC VEHICLES NOT DETAILED UNDER AS2890 / AUSTRROADS IS REQUESTED, IT IS TO BE NOTED THAT THEIR DIMENSIONS AND MANOEUVRING CHARACTERISTICS HAVE BEEN INTERPRETED INTO THE SIMULATION SOFTWARE FROM INFORMATION PROVIDED BY SERVICE PROVIDERS AND VEHICLE MANUFACTURERS. NORTHROP ACCEPTS NO RESPONSIBILITY OF THE ACCURACY THESE VEHICLE MOVEMENTS, AND ANY MANOEUVRES PROVIDED SHOULD ONLY BE USED AS A GUIDE WITH ACTUAL DESIGN BEING BASED AROUND ENGINEERING ADVICE AND AUSTRALIAN STANDARDS.

AT ALL TIMES, STANDARD VEHICLE SWEEP PATHS / TEMPLATES ARE TO TAKE DESIGN PRECEDENCE OVER ALL SPECIFIC VEHICLES. UNDER NO CIRCUMSTANCE DOES THE SIMULATION PROVIDED RELIEVE ANY PARTY OF THEIR ROLE AND RESPONSIBILITY FOR PROVIDING DESIGN SOLUTIONS IN ACCORDANCE WITH GOOD DESIGN PRACTICES.

### LEGEND

- SITE BOUNDARY LINE
- SW --- EXISTING STORMWATER PIPE
- eDP EXISTING DOWNPIPE
- exSW PIT EXISTING STORMWATER PIT AND TAG
- RL XX.XX PROPOSED SPOT HEIGHT
- eRL XX.XX EXISTING SPOT HEIGHT
- FALL DIRECTION OF GRADE
- FFL XX.XX PROPOSED FINISHED FLOOR LEVEL
- exFFL XX.XX EXISTING FINISHED FLOOR LEVEL
- CONCRETE FOOTPATH PAVEMENT
- CONCRETE DRIVEWAY PAVEMENT
- DENOTES EXTENT OF STRUCTURAL SLAB DETAILS TO BE PROVIDED BY STRUCTURAL ENGINEER AT CC STAGE
- EXTENT OF EXISTING BUILDING
- EXTENT OF PROPOSED BUILDING EXTENSION
- EXISTING FENCE
- SAWCUT AND PAVEMENT INFILL

### CONCEPT STORMWATER MANAGEMENT PLAN

NORTHROP CONSULTING ENGINEERS HAVE PREPARED A CONCEPT STORMWATER MANAGEMENT PLAN FOR THE PROPOSED DEVELOPMENT AT 10 HAYMAN STREET, WEST BALLINA, NSW, 2478. THE PLAN HAS BEEN DEVELOPED IN ACCORDANCE WITH THE BALLINA SHIRE COUNCIL DEVELOPMENT CONTROL PLAN 2012 (DCP).

THE DEVELOPMENT IS LOCATED ON LOT 1 OF DP181025 WITH A TOTAL AREA OF APPROXIMATELY 0.36ha. THE PROPOSED DEVELOPMENT, HEREIN KNOWN AS "THE SITE" INCLUDES THE DEMOLITION OF A PORTION OF THE EXISTING DRIVEWAY, ADDITIONAL VEHICLE ACCESS FOR A SMALL BUS AND MODIFICATION TO A SECTION OF THE EXISTING BUILDING.

THE PROPOSED STORMWATER MANAGEMENT PHILOSOPHY AS IT APPLIES TO THE PROPOSED AMENDMENTS TO THE EXISTING SITE CAN BE SUMMARISED AS FOLLOWS:

- EXISTING ROOF DOWNPIPES TO CONVEY PROPOSED ROOF RUNOFF TO EXISTING RAINWATER TANK
- RUNOFF FROM THE NEW DRIVEWAY/ACCESS TO BE MANAGED VIA PASSIVE IRRIGATION INTO LANDSCAPED AREAS WITH OVERFLOW CONVEYED TO THE EXTERNAL COUNCIL SYSTEM.

#### SITE AREA SUMMARY

TOTAL SITE AREA = 3580m<sup>2</sup>

#### EXISTING

1. TOTAL IMPERVIOUS AREA	= 2,400m <sup>2</sup>
1.1. HARDSTAND	= 1,300m <sup>2</sup>
1.2. ROOF AREA	= 1,100m <sup>2</sup>
2. TOTAL PERVIOUS AREA	= 1,180m <sup>2</sup>
3. PERCENTAGE IMPERVIOUS	= 67%

#### PROPOSED

1. TOTAL IMPERVIOUS AREA	= 2,507m <sup>2</sup>
1.1. HARDSTAND	= 1,362m <sup>2</sup>
1.2. ROOF AREA	= 1,145m <sup>2</sup>
2. TOTAL PERVIOUS AREA	= 1,073m <sup>2</sup>
3. PERCENTAGE IMPERVIOUS	= 70%

#### BALLINA SHIRE COUNCIL REQUIREMENTS

IN ACCORDANCE WITH THE BALLINA SHIRE COUNCIL'S DCP THE PROPOSED INCREASE IN SITE IMPERMEABILITY DOES NOT EXCEED 300m<sup>2</sup>. THEREFORE STORMWATER QUALITY AND QUANTITY MEASURES ARE NOT REQUIRED.

#### FLOODING

AS DIRECTED BY COUNCIL THE NEW BUILDING FINISHED FLOOR LEVEL IS TO BE MIN 2.60m AHD AS PER THE EXISTING BUILDING. NO FURTHER FLOOD ASSESSMENT IS REQUIRED.

NOT FOR CONSTRUCTION

**NORTHROP**

NEWCASTLE  
Level 1, 215 Pacific Highway  
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(02) 4943 1777

**NSW** Communities & Justice

Suite 18/Level 2 50 Glebe Road  
The Junction NSW 2291

**GENERATE** INTERIORS

The Atrium Floor 9 Castlereagh Street  
Sydney NSW 2000

**DRAWN**  
Joshua Knight

**DESIGNED**  
Kane Sinclair

Scale at A1

**JOB MANAGER**  
Kane Sinclair

**VERIFIER**

**REV. DESCRIPTION**  
A ISSUED FOR APPROVAL

**ISSUED DATE**  
RD 26.11.25

**PROJECT**  
BALLINA ABORIGINAL CHILD AND FAMILY CENTRE

**ADDRESS**  
10 Hayman Street  
West Ballina NSW 2478

**DRAWING**  
CIVIL WORKS PLAN

**JOB No.**  
250820

**DRAWING No.**  
DA-C04.01

**REV.**  
A

**Attachment 3 – Non-Standard Conditions of Consent****GENERAL CONDITIONS**

1.	<p><b>Crime Prevention through Environmental Design</b></p> <p>The development is to be provided with the following Crime Prevention through Environmental Design measures:</p> <ul style="list-style-type: none"> <li>• vandal resistant security lighting is to be provided to the pedestrian pathways (between the street and building addition) and the entries to the building addition;</li> <li>• Installation of quality locksets on all new doors and windows approved as part of the alterations and additions; and</li> <li>• any proposed landscaping is to be planted and maintained so as to not inhibit natural surveillance opportunities, create concealment areas or adversely impact on the sight lines of vehicles.</li> </ul> <p>All measures are to be implemented, operated and maintained throughout the life of the development.</p> <p><b>Condition reason:</b> To ensure that the development is provided with suitable crime prevention measures.</p>
2.	<p><b>Water Efficiency</b></p> <p>The following water efficiency features shall be installed as part of the approved alterations and additions:</p> <ul style="list-style-type: none"> <li>• AAA minimum rated taps and appliances;</li> <li>• Dual flush toilets (six litres or less for a flush and three litres or less for a half flush); and</li> <li>• Sensor operated taps, or automatic shut-off taps.</li> </ul> <p><b>Condition reason:</b> To ensure appropriate water efficiency measures are implemented.</p>
3.	<p><b>Flood Compatible Materials</b></p> <p>The alterations and additions below 2.7m AHD (FPL2 + 0.5m) are to be constructed using flood compatible building materials as detailed in Schedule C of Chapter 2B Floodplain Management of the Ballina DCP.</p> <p><b>Condition reason:</b> to ensure the proposed building works are flood compatible and comply with the requirements of Chapter 2B of the Ballina DCP.</p>
4.	<p><b>Landscaping</b></p> <p>The part of the site between the driveway extension and the front (northern) boundary shall be landscaped to include low height shrubs and small plants that do not exceed 900mm in mature height.</p> <p>The selection of appropriate plants shall be made in accordance with the Ballina Shire Urban Garden Guide.</p> <p><b>Condition reason:</b> to ensure the approved development is appropriately landscaped.</p>
5.	<p><b>Pedestrian Pathway</b></p> <p>A continuous pedestrian pathway, separate from the proposed driveway, shall be provided from the proposed building addition to the existing footpath in the street network.</p>

	<b>Condition reason:</b> to ensure a dedicated pedestrian pathway between the development and the footpath in the public domain.
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**BUILDING WORK  
BEFORE ISSUE OF A CROWN CERTIFICATE**

6.	<p><b>Protection of Existing Broad Leaved Paperbark Tree or Alternative Tree Removal</b></p> <p>Prior to the issue of a Crown Certificate, the applicant must amend the design of the proposed driveway extension to ensure the retention and protection of the existing Broad Leaved Paperbark tree located at the front of the site.</p> <p>Details of the amended driveway design must be submitted to and approved in writing by Council and must be accompanied by a report prepared by a suitably qualified Level 5 Arborist, which must:</p> <ul style="list-style-type: none"> <li>a) certify that the amended driveway design will protect the health, structural integrity and long-term viability of the existing Broad Leaved Paperbark tree; and</li> <li>b) include a Tree Protection Plan prepared in accordance with <i>AS 4970–2009 Protection of Trees on Development Sites</i>, identifying all tree protection measures to be implemented prior to the commencement of works and maintained for the duration of construction.</li> </ul> <p><b>As an alternative to the above</b>, where it is demonstrated to the satisfaction of Council that the driveway cannot reasonably be redesigned to retain the Broad Leaved Paperbark tree in-situ, the removal of the tree shall be permitted. In such circumstances, the applicant must provide a compensatory off-set comprising the planting of three new native trees either within the site or within the adjoining public reserve (Porter Park).</p> <p>Where any offset planting is proposed within the adjoining public reserve (Porter Park), written approval must be obtained from Council's Open Space section prior to planting, confirming the number, location and species of trees to be planted.</p> <p><b>Condition reason:</b> to protect the existing Broad Leaved Paperbark tree adjacent to the front boundary of the site or permit its removal subject to compensatory plantings.</p>
7.	<p><b>Supervision of Indoor Spaces (Centre Based Child Care Facility)</b></p> <p>The proposed internal window to the breakout room within the centre based child care facility is to be increased in width and size to ensure that it facilitates the supervision of all parts of the room and avoids hidden corners. A plan showing compliance with this requirement is to be submitted to and approved by Council prior to the issue of a Crown Certificate.</p> <p><b>Condition reason:</b> to enhance the supervision of the break room within the centre based child care facility.</p>

**DURING BUILDING WORK**

8.	<p><b>Tree Protection</b></p> <p>Where the existing paper bark tree between the proposed driveway extension and the front boundary of the site is to be retained under Condition 6, then the tree must be protected in accordance with:</p> <ul style="list-style-type: none"> <li>• the Tree Protection Plan approved under Condition 6 of this consent; and</li> <li>• AS 4970 Protection of Trees on Development Sites, throughout the duration of the construction and ongoing operation of the proposed development.</li> </ul> <p><b>Condition reason:</b> to ensure that the existing tree is protected, as the proposal does not involve the removal of the tree.</p>
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**PRIOR TO OCCUPATION AND USE**

9.	<p><b>Service Approval (Centre Based Child Care Facility)</b></p> <p>Prior to the use of the new rooms of the centre based child care facility (breakout room, store room and WC), the person acting on this consent shall obtain a Service Approval from the Regulatory Authority (NSW Department of Education).</p> <p><b>Condition reason:</b> To ensure the new parts of the facility obtains a Service Approval.</p>
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**OCCUPATION AND ONGOING USE**

10.	<p><b>Approved Use of Kitchen</b></p> <p>The approved kitchen shall not be used for the commercial preparation of food.</p> <p><b>Condition reason:</b> To protect public health.</p>
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## 7.3 Development Applications - Works in Progress - 31 March 2026 Update

Attachment 1

All Development Applications under assessment for a period greater than 90 days.

DA No.	Date Rec'd	Applicant	Proposal
2023/529	22/07/2024	Intrapac Property Pty Ltd	Bulk earthworks (cut and fill), vegetation removal and associated works as relating to the amended layouts for Stage 8 of DA 2016/184, including the erection of retaining walls, road formation, temporary sediment and erosions control basins, silt fencing, temporary drainage, vehicular shakedown points and other related site works – 52 Albert Sheather Lane Cumbalum
2024/91	22/07/2024	Intrapac Property Pty Ltd	Bulk earthworks (cut and fill), vegetation removal and associated works as relating to the amended layouts for Stage 9 and 12A of DA 2016/184, including the erection of retaining walls, road formation, temporary sediment and erosions control basins, silt fencing, temporary drainage, vehicular shakedown points and other related site works – 52 Albert Sheather Lane Cumbalum
2024/202	12/08/2024	Ardill Payne & Partners	The erection of a dwelling house and installation of a swimming pool/spa, associated earthworks (including building pad), vegetation removal and infrastructure works, including upgrades to Sneesbys Lane and a new vehicular access. The majority of works are to occur on a newly consolidated allotment (involving the Consolidation of Lots 1, 2, 3 and 4 DP 1048732 and Lots 133 and 203 DP 755626), with the new vehicular access to be constructed partially over the new consolidated lot, Crown Road Reserve and Lot 5 DP 1048732 and an Asset Protection Zone for the development located partially within the new consolidated lot and Lot 5 DP 1048732. – Sneesbys Lane East Wardell
2024/303	27/09/2024	ELKN Pty Ltd	New dwelling, pool, shed, stables, horse paddock and tennis court. The proposal also seeks consent for ancillary items including earthworks, vegetation removal, the keeping of horses, gravel driveway extensions, fencing, onsite effluent disposal infrastructure and access roads – Lot 91 Empire Vale Road Empire Vale
2024/230	01/10/2024	Town Planning Studio Pty Ltd	Development Application for the construction of 2 x new dwellings to create a dual occupancy (detached) development with ancillary vehicle access and parking, swimming pools, studio, water storage tanks and on-site sewage management system and the demolition of an existing dwelling – 82 Tims Lane Broken Head
2018/747	15/01/2025	Ardill Payne & Partners	To undertake a Torrens Title Subdivision and Boundary Adjustment Subdivision to create 17 x residential lots (ranging in area from 763m <sup>2</sup> to 4735m <sup>2</sup> ), one x residual lot (Proposed Lot 19 – area of 2. 79ha), one x drainage

DA No.	Date Rec'd	Applicant	Proposal
			reserve lot (area of 1736m <sup>2</sup> ), involving bulk earthworks, the construction of a new road and the installation of infrastructure services – 17 Millbrook Terrace Wollongbar <b>Section 37</b>
2025/110	22/04/2025	Planit Consulting Pty Ltd	To undertake a Torrens Title subdivision to create 1 x 6,365m <sup>2</sup> and 1 x 8.76ha allotments – 8 Byron Bay Road Lennox Head
2025/141	21/05/2025	Ardill Payne & Partners	Three Lot Torrens Title subdivision to create 1 x 839m <sup>2</sup> Lot, 1 x 809m <sup>2</sup> Lot and 1 x 801m <sup>2</sup> Lot and associated vegetation removal, earthworks, road construction and civil works – 26-30 Fitzroy Street Wardell
2022/345	03/06/2025	BRS Northern Rivers Pty Ltd	Four-Lot Community Title Subdivision of two existing Torrens Title Lots to create one x Community Association Property Lot (driveway access), three x Residential Lots (areas of 1449m <sup>2</sup> , 1217m <sup>2</sup> and 1908m <sup>2</sup> ) and associated infrastructure and servicing works and vegetation management works comprising the removal of 18 trees – 54 Greenfield Road Lennox Head <b>Section 37</b>
2025/172	10/06/2025	L Houghton	Construction of a dwelling house to create a detached dual occupancy development and carport and ancillary earthworks and on-site sewage management system – 122 Alstonvale Road Alstonvale
2025/160	16/06/2025	Ardill Payne & Partners	Alterations and Additions to the Recreation facility (outdoor)/Registered Club and reconfiguration of associated car parking and access arrangements, with works being undertaken in 2 stages – 10 Stewart Street Lennox Head
2025/163	20/06/2025	Town Planning Studio Pty Ltd	Construction of a new two-storey dwelling with ancillary vehicle access and parking, swimming pool, water storage tanks and on-site sewage management system; Use of alterations and additions an existing rural workers dwelling including the installation of a carport and plunge pool; Construction of a farm shed; and Decommissioning of the original dwelling – 727 Hinterland Way Newrybar
2023/252	23/06/2025	Planners North	Torrens Title Subdivision to create 10 new residential lots (ranging in area from 603m <sup>2</sup> to 1,322m <sup>2</sup> ) and one drainage reserve lot (1,389m <sup>2</sup> ), including earthworks, vegetation management works, construction of acoustic barrier/earth mound, infrastructure and servicing works – Greenwood Place Lennox Head <b>Section 37</b>

## 7.3 Development Applications - Works in Progress - 31 March 2026 Update

DA No.	Date Rec'd	Applicant	Proposal
2025/223	11/07/2025	Newton Denny Chapelle	Proposed construction of three new single-storey consulting rooms and a new access ramp with a covered walkway. The application includes: Stage 1 - Demolition of the existing covered outdoor area and carport and construction of the new consulting rooms; Stage 2 - Alterations and additions to the existing main building. In addition, the proposal involves associated vegetation removal works and stormwater infrastructure upgrades – 21 Grant Street Ballina
2025/249	28/07/2025	Ozfish Unlimited Ltd	Installation of in-water structures to support oyster reef restoration at three sites - single build of mafic extrusive quarry rock of varying sizes (spalls & gabion) with 20 Robust Oyster Baskets to be contained in the structure at each site – South Ballina Beach Road Keith Hall
2025/257	28/07/2025	Newton Denny Chapelle	Alterations and additions to existing Commercial Premises including two additional commercial tenancies, and associated demolition, earthworks and infrastructure works – 127-129 River Street Ballina
2025/261	05/08/2025	M McErlean	Construction of a single storey industrial building for the purposes of a local distribution centre, associated infrastructure works, car parking, landscaping and business identification signage – 27 Boeing Avenue Ballina
2025/293	14/08/2025	The Trustee for Haven Ballina Trust	Development consent is sought for the creation of eight community title lots – 455 River Street West Ballina
2025/317	29/8/2025	Newton Denny Chapelle	Staged development: Stage 1: Two Lot Torrens Title Subdivision (Boundary Adjustment) to create 1 x 1199m <sup>2</sup> lot (Proposed Lot 1) and 1 x 2396m <sup>2</sup> (Proposed Lot 2) Stage 2: Change of use of an existing pre-school building to a dwelling, including alterations and additions to the building and construction of a new car port – 50 Richmond Street Wardell
2025/332	09/09/2025	D DeRooy	To undertake a boundary adjustment to create 1 x 637.9m <sup>2</sup> and 1 x 455.1m <sup>2</sup> allotments, demolition of existing dwelling and construction of two storey dwelling house and swimming pool – 3 Skinner Street Ballina
2025/350	15/09/2025	M Hamblin	Alterations and additions to multi dwelling housing development to extend first floor balconies to units 2 and 3 – 2/43 Stewart Street Lennox Head

## 7.3 Development Applications - Works in Progress - 31 March 2026 Update

DA No.	Date Rec'd	Applicant	Proposal
2025/367	24/09/2025	NGP Investments (No. 2) Pty Ltd	Mixed Use Automotive Business comprising a Vehicle Sales or Hire Premises (four x showrooms), a Vehicle Repair Station, ancillary office and amenities, car parking, infrastructure works, bulk earthworks (cut and fill), landscaping and business identification signage – 14 Hercules Crescent Ballina
2025/368	24/09/2025	My Surrounds Pty Ltd	Construction of a multi-tenancy GENERAL industrial development comprising 5 general industrial tenancies, associated car parking, civil infrastructure works, signage and landscaping – 6 Hercules Crescent Ballina
2025/377	30/09/2025	J Pickford	Extractive Industry comprising the extraction of a total of 66,000m3 of aggregate over a 30-year period for reuse on the property, and associated vegetation management works and rehabilitation works – Whytes Lane Pimlico
2025/388	08/10/2025	B R Dixon	Erection of dwelling house and detached shed on approved fill pad, and associated infrastructure - Moylans Lane Empire Vale
2025/395	20/10/2025	Fiveight Hinterland Pty Ltd	Alterations and Additions to Tourist and Visitor Accommodation comprising: <ul style="list-style-type: none"> <li>• Construction of 'arrivals building' (HUB) to including arrival entrance, Porte Cochere, reception, restaurant, guest lounge and shop;</li> <li>• Refurbishment of 'Kukura House' with new back of house facilities (laundry, housekeeping and staff room), education/information space, office and kitchen.</li> <li>• Renovation of existing tourist units</li> <li>• Construction of four additional tourist units.</li> <li>• New spa complex and treatment rooms including upgrades to pool area to include additional plunge pools and recovery program area and improved accessibility;</li> <li>• Provision of a new carparking area to accommodate 71 car spaces.</li> <li>• Improved accessibility via a new lift, bridge over creek and general DDA access improvements.</li> <li>• Associated demolition works, vegetation management works and replacement plantings, and infrastructure - 933 Fernleigh Road Brooklet</li> </ul>
2025/430	05/11/2025	Unique View Homes Pty Ltd	Erection of a single storey dwelling to create a detached dual occupancy development, and associated earthworks and infrastructure - 48 Teakwood Drive Alstonville
2025/431	06/11/2025	Planners North	Alterations and additions to dual occupancy development and conversion of use to a dwelling house – 21 Dress Circle Drive Lennox Head

DA No.	Date Rec'd	Applicant	Proposal
2025/418	07/11/2025	Barker Ryan Stewart	<p>Stage 1 – Boundary Adjustments and Lot Consolidation of 6 lots to create 4 lots</p> <p>Stage 2 – Torrens Title subdivision (CURA B Stage 1) and associated infrastructure, comprising:</p> <ul style="list-style-type: none"> <li>• 233 residential Torrens title lots (including superlots for future subdivision)</li> <li>• 4 x superlots for future development of a village precinct capable of supporting a mix of commercial and residential development.</li> <li>• 4 x public park lots</li> <li>• 4 x residue lots</li> <li>• 1 x lot for the water reservoir</li> <li>• 2 x lots for dedication of drainage reserves.</li> <li>• 1 x lot for pump station</li> <li>• 1 x Aboriginal cultural heritage lot</li> <li>• Entry roundabout to Ross Lane</li> <li>• Collector road network</li> <li>• Civil infrastructure comprising new roads, footpaths, stormwater drainage pathways and essential services including sewer mains &amp; pump station, drinking water mains, recycled water, temporary water reservoir</li> <li>• Associated earthworks comprising 1,117,880m<sup>3</sup> of cut and 1,126,300m<sup>3</sup> of fill</li> <li>• Vegetation management works including the clearing of 85.27ha of native vegetation</li> <li>• Landscaping and revegetation / rehabilitation works</li> <li>• Demolition of 6 dwellings and a dairy bale - 47 Dufficy Lane Kinvara</li> </ul>
2025/436	12/11/2025	Ardill Payne & Partners	Change of use of an existing food and drink premises to a recreation facility (indoor) (including use of completed alterations & additions and installed business identification signage) - 315 River Street Ballina
2025/438	12/11/2025	Newton Denny Chapelle	Alterations and additions to the Woolworths Supermarket involving demolition works, a new enclosed fleet delivery loading bay and associated coolroom and freezer room, reconfiguration and expansion of Click and Collect/Direct to Boot facilities, internal works (fleet delivery area, cleaner room and direct to boot area), installation of additional business identification signage and extension to hours of operation for loading bay - 84 Kerr Street Ballina
2025/442	12/11/2025	D C Lange	Alterations and additions to a dwelling house comprising proving two bedrooms, a bathroom, a rumpus, a foyer and an entry area to the ground floor - 9 Evelyn Villa Drive Alstonville

## 7.3 Development Applications - Works in Progress - 31 March 2026 Update

DA No.	Date Rec'd	Applicant	Proposal
2025/433	13/11/2025	W P Twomey	Erection of a dwelling house, pool, gym and sauna, and associated demolition works, vegetation management works and earthworks - 7 Angus Kennedy Close Lennox Head
2025/432	14/11/2025	Holcim (Aust.) Pty Ltd	Alterations to concrete batching plant comprising the upgrade of the water management system and associated works - 14-16 Simmons Street Ballina
2025/449	19/11/2025	D Roberts	Erection of an Industrial Building containing two units (for general industry purposes), associated earthworks and retaining walls, ancillary infrastructure, car parking and landscaping - 5 Hercules Crescent Ballina
2025/459	20/11/2025	Newton Denny Chapelle	Demolition of existing toilet facility – 2A Main Street Alstonville
2025/60	21/11/2025	Planit Consulting	Two lot Torrens Title subdivision to create 1 x 6,402m <sup>2</sup> Lot (Proposed Lot 1) and 1 x 6,649m <sup>2</sup> Lot (Proposed Lot 2). Construction of a mixed use development (Commercial/Residential) on Proposed Lot 1 comprising 3 retail premises, 5 food and drink premises and 17 shop top housing dwellings, and associated car parking, landscaping and infrastructure works, and subsequent Stratum subdivision and Strata Title subdivision - 21 Aureus Boulevard Skennars Head <b>Section 37</b>
2025/485	05/12/2025	N Fox	Erection of Dwelling House and fill pad - 193 Sneesbys Lane East Wardell
2025/484	10/12/2025	Ardill Payne & Partners	Torrens title subdivision to create 34 x vacant residential lots, 1 x public reserve lot (containing stormwater infrastructure), 1 x residual lot and associated earthworks (cut and fill and erection of retaining walls), extension of infrastructure and services (including roads, sewer, water and stormwater) and street landscaping - Mitchell Close Cumbalum
2025/477	12/12/2025	Walker Projects Pty Ltd	Erection of a dwelling house with swimming pool, and associated earthworks, retaining walls, vegetation management works and infrastructure - 51A Greenfield Road Lennox Head
2025/492	15/12/2025	CEO Design & Consult P/L	Erection of one x illuminated business identification pylon sign - 20 Richmond Street Wardell
2025/499	15/12/2025	D Roberts	Erection of an Industrial Development containing nine tenancies (one x Warehouse, two x General Industry and six x Self-Storage Premises), Vegetation Management Works (removal of two x Blackwood Wattle and one x Swamp Oak trees), associated earthworks and retaining walls, ancillary infrastructure, car parking, business

## 7.3 Development Applications - Works in Progress - 31 March 2026 Update

DA No.	Date Rec'd	Applicant	Proposal
			identification signage and landscaping - 7 Hercules Crescent Ballina
2025/491	15/12/2025	C M Adamson	Alterations and additions to Multi Dwelling Housing Unit and Construction of Carport - Unit 1 57 Stewart Street Lennox Head
2025/506	17/12/2025	Newton Denny Chapelle	Erection and operation of the proposed office building, and associated car parking, earthworks, landscaping and vegetation management works, and infrastructure servicing - 186-190 Lismore Road Wollongbar
2025/490	17/12/2025	T Hart	Vegetation Management Works comprising the removal of two trees and the installation of a new On Site Sewage Management System involving earthworks and new retaining walls - 18-20 Old Pacific Highway Newrybar
2025/510	18/12/2025	Professional Planning Group Pty Ltd	Construct a single storey dwelling house with attached double garage and associated earthworks - 8 Admiral Vista Lennox Head
2025/494	19/12/2025	Ardill Payne & Partners	Installation of Premanufactured home to be used as a Secondary Dwelling - 47 Clavan Street Ballina
2025/82	19/12/2025	Town Planning Studio Pty Ltd	Erection of a two-storey dwelling house, paddle court and associated demolition works, earthworks and infrastructure - 238 Old Byron Bay Road Newrybar <b>Section 37</b>
2025/512	24/12/2025	SDA Able House Pty Ltd	Erection of dwelling house and detached secondary dwelling, and associated demolition works, earthworks, retaining walls and infrastructure - 104 Cherry Street Ballina
2025/525	24/12/2025	Department of Community and Justice	Alterations and Additions to an existing childcare facility and family community centre, including new bus drop off and pick up area - 10 Hayman Street West Ballina







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## Acknowledgement of Country

Ballina Shire Council acknowledges that we are here on the land of the Ngangbul people of the Bundjalung nation. Council pays respect to Elders, past and present. The Bundjalung people are the traditional custodians of this land and are part of the oldest surviving continuous culture in the world.

## Message from the Mayor



It is a pleasure to present Council's Disability Inclusion Action Plan (DIAP) 2026-2030. Council has worked over many years to improve access and inclusion in our shire as we believe that this will increase opportunities for people with a disability to participate in community life.

We aim to ensure that access and inclusion is a key consideration in all areas of our services and operations. The actions in the DIAP are linked to the strategies found in Ballina Shire Council's Community Strategic Plan and are integrated into Council's delivery program, meaning that access and inclusion is a whole of council responsibility.

Council has had the benefit of the ongoing input and advice on disability issues from our Access Reference Group (ARG). I would like to take this opportunity to acknowledge and thank the current and past members of the ARG for their invaluable service.

The actions in this plan have been developed through the many conversations and responses to our recent community engagement in reviewing the previous DIAP and in preparing our Community Strategic Plan.

**Cr Sharon Cadwallader**  
**Ballina Shire Council Mayor**

## Guiding Principles

Ballina Shire Council is committed to continuing to work towards building an inclusive and accessible community that meets the needs of all its residents, regardless of ability. The NSW State Government requires that each Council in NSW develop its own Community Strategic Plan (CSP), and this sits above all other Council plans and policies in the organisational and governance planning hierarchy.

The CSP identifies the community's main priorities and aspirations for the future, to promote a positive lifestyle and improve the quality of living for our residents and visitors.

Our CSP documents the vision for Ballina Shire as:

***Ballina Shire is safe, with a connected community, a healthy environment and a thriving economy.***

The CSP is based on social justice principals determined by the NSW Government:

- **Equity** – there is fairness in decision making and prioritising and allocation of resources.
- **Access** – All people have fair access to services, resources and opportunities to meet their basic needs and improve their quality of life.
- **Participation** – Everyone has the maximum opportunity to genuinely participate in decisions which affect their lives.
- **Rights** – equal rights and opportunities for everyone to participate in community life.

These social justice principles are entrenched in the actions of the DIAP and in Council's other planning documents. Our DIAP will guide the actions that Council and others will need to take to improve access and inclusion in our community.

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Ballina  
Shire's  
Vision for  
Inclusion

“ Working with our community partners to make Ballina Shire accessible and inclusive for all our residents and visitors regardless of ability ”

# Policy and Legislative Context

## Principal Legislation

### NSW Disability Inclusion Act 2014

The NSW Disability Inclusion Act 2014 (DIA 2014) provides the legislative framework for local government disability inclusion and access planning. The DIA 2014 outlines the NSW Government's commitment to ensuring that we continue to develop an inclusive and accessible community. The DIA 2014 requires that all councils in NSW must prepare a DIAP in consultation with people with a disability and that it include strategies for the following:

- (i) providing access to buildings, events and facilities,
- (ii) providing access to information,
- (iii) accommodating the specific needs of people with disability,
- (iv) supporting employment of people with disability,
- (v) encouraging and creating opportunities for people with disability to access the full range of services and activities available in the community

The diagram adjacent shows the connection between the DIA 2014, NSW Disability Inclusion Plan and Council Disability Inclusion Action Plans.

The DIA 2014 and all DIAPs are aligned with a range of international, Commonwealth and State legislation and policies that aim to increase opportunities and reduce barriers for access and inclusion.

## International

### United Nations Convention on the Rights of Persons with Disabilities (UNCRPD)

In 2008, the Australian Government ratified the United Nations Convention on the Rights of Persons with Disabilities (UNCRPD) "to promote, protect and ensure the full and equal enjoyment of all human rights and fundamental freedoms by all persons with disabilities, and to promote respect for their inherent dignity." (United Nations (2006), Convention on the Rights of Persons with Disabilities).



## Commonwealth

### Disability Strategy 2021 - 2031

Australia's Disability Strategy 2021-2031 replaces and builds on the National Disability Strategy 2010-2020.

The Strategy presents a national framework that all governments in Australia have signed up to. It sets out a plan for continuing to improve the lives of people with disability in Australia over the next ten years. It supports Australia's commitment under the United Nations Convention on the Rights of Persons with Disabilities.

The Strategy's vision is for an inclusive Australian society that ensures people with disability can fulfil their potential as equal members of the community. It includes targeted action plans for each of the outcome areas.

The Strategy drives change in seven outcomes areas:

- 1. Employment and financial security:** Providing jobs and career opportunities for people with disability and making sure they have enough income to meet their needs.
- 2. Inclusive homes and communities:** Increasing the number of accessible, affordable and well-designed homes and creating a community that is inclusive and accessible.
- 3. Safety, rights and justice:** Ensuring the rights of people with disability are promoted, upheld and protected, and people with disability feel safe and enjoy equality before the law.
- 4. Personal and community support:** Providing people with disability access to support so they can live independently and engage in their communities.

- 5. Education and learning:** Supporting people with disability to access education and learning throughout their lives so they reach their full potential.
- 6. Health and wellbeing:** Increasing support and capability in the healthcare sector to meet the needs of people with disability and ensuring disaster preparedness and emergency responses include the needs of people with disability.
- 7. Community attitudes:** Recognising the positive contribution people with disability make to society and building confidence in the community to work and engage with people with disability.

### Commonwealth Disability Discrimination Act 1992

The *Commonwealth Disability Discrimination Act 1992* (DDA 1992) recognises the rights of people with disability to equality before the law and makes discrimination based on disability unlawful. The DDA 1992 covers many areas of life including employment, education, access to premises and provision of goods, services and facilities. DDA 1992 sections 60 and 61 set out the provisions for the completion of DIAPs that fulfil the intent of the DDA and sets measurable and accountable goals. Public authorities may wish to draft their DIAPs under the DIA in such a way as to comply with both the DIA 2014 and the DDA 1992.

## State

### NSW Anti-Discrimination Act 1977 (ADA)

The NSW Anti-Discrimination Act 1977 (ADA) relates to discrimination in places of work, the public education system, delivery and goods and services including services such as banking, health care, property and night clubs.

**NSW Government Sector Employment Act 2013**

The Government Sector Employment Act 2013 (GSE Act) and the associated Regulation and Rules provide a statutory framework focused on NSW government sector employment and workforce management. The GSE Act repealed the requirement for Equal Employment Opportunity Management Plans under the ADA. Instead, strategies for workplace diversity are now required to be integrated into workforce planning across the government sector. Integrating diversity requirements into workforce planning represents a shift in the way diversity is addressed in public sector employment.

**Additional NSW Acts**

- Carers (Recognition) Act 2010
- Ageing and Disability Commissioner Act 2019

In addition to aligning with the above-mentioned international, Commonwealth and State policies, our DIAP also aligns with existing council plans and policies including

- Ballina Shire’s Community Strategic Plan
- Council’s Delivery Program and Operational Plan
- Pedestrian Access and Mobility Plan
- Equal Employment Opportunity Management Plan
- Child Safety Policy.

The linkages between our plans will assist in ensuring that the needs of people with disability will be included in all aspects of Ballina Councils’ services, infrastructure and resources.

Ballina Shire Council’s Integrated planning and reporting framework

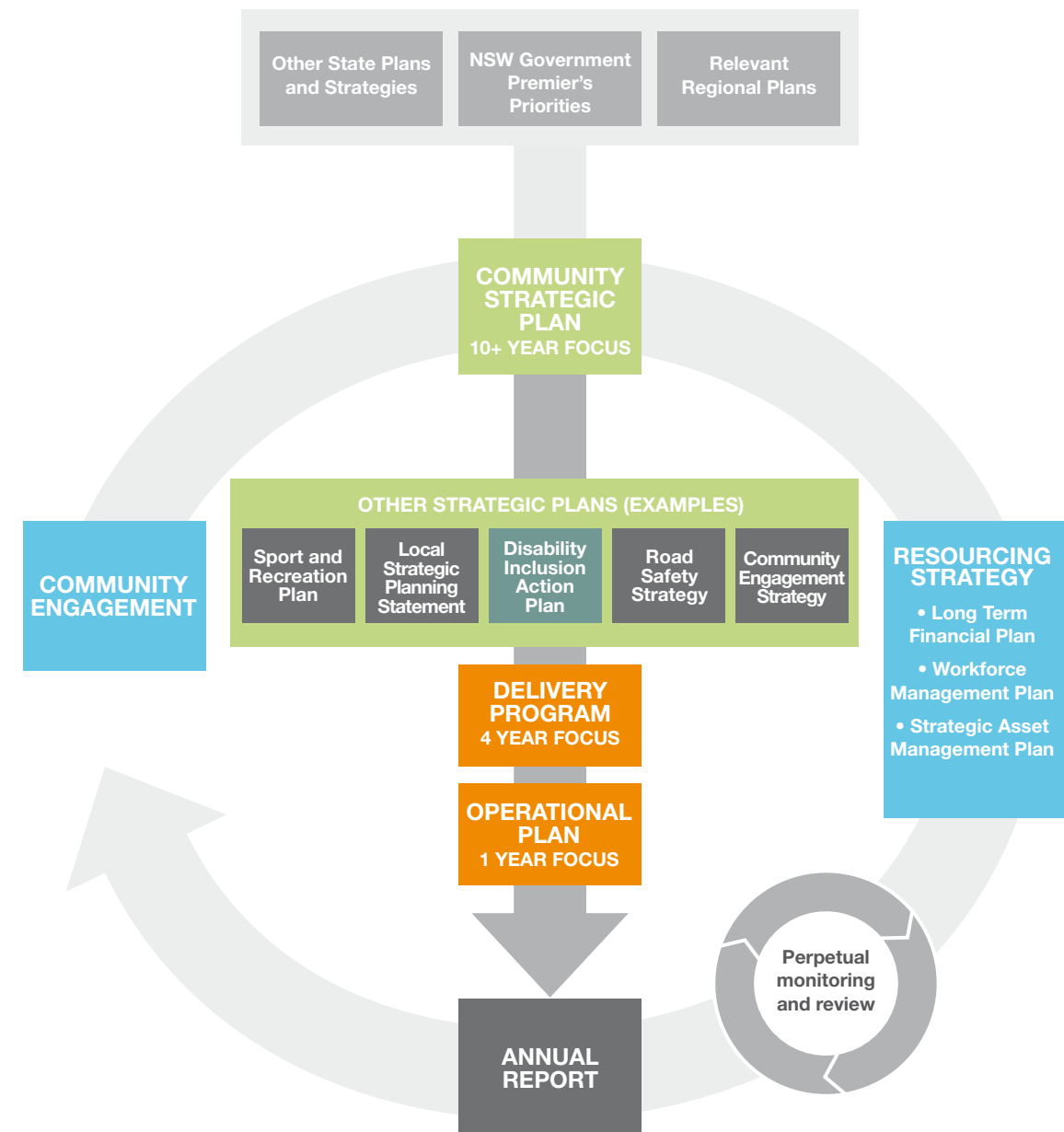




Image credit: Copyright of State of NSW - Transport for NSW

## What is a disability?

The *Disability Discrimination Act 1992* (DDA) defines **disability** in relation to a person as:

- total or partial loss of the person's bodily or mental functions
- total or partial loss of a part of the body
- the presence in the body of organisms causing disease or illness
- the presence in the body of organisms capable of causing disease or illness
- the malfunction, malformation or disfigurement of a part of the person's body
- a disorder or malfunction that results in the person learning differently from a person without the disorder or malfunction
- a disorder, illness or disease that affects a person's thought processes, perception of reality, emotions or judgment or that results in disturbed behaviour and includes a disability that<sup>1</sup>:
  - Presently exists
  - Previously existed but no longer exists
  - May exist in the future (including because of a genetic predisposition to that disability); or is imputed to a person.

<sup>1</sup> To avoid doubt, a disability that is otherwise covered by this definition includes behaviour that is a symptom or manifestation of the disability.



## Our community

The Ballina Shire is in the Northern Rivers region of NSW, the traditional country of the Bundjalung people. According to the 2021 census data, the estimated residential population of Ballina Shire was approximately 46,172. The total area of the Ballina Shire is 485km<sup>2</sup> and some 93% is zoned rural or environmental protection. A large proportion of existing native vegetation is on private land.

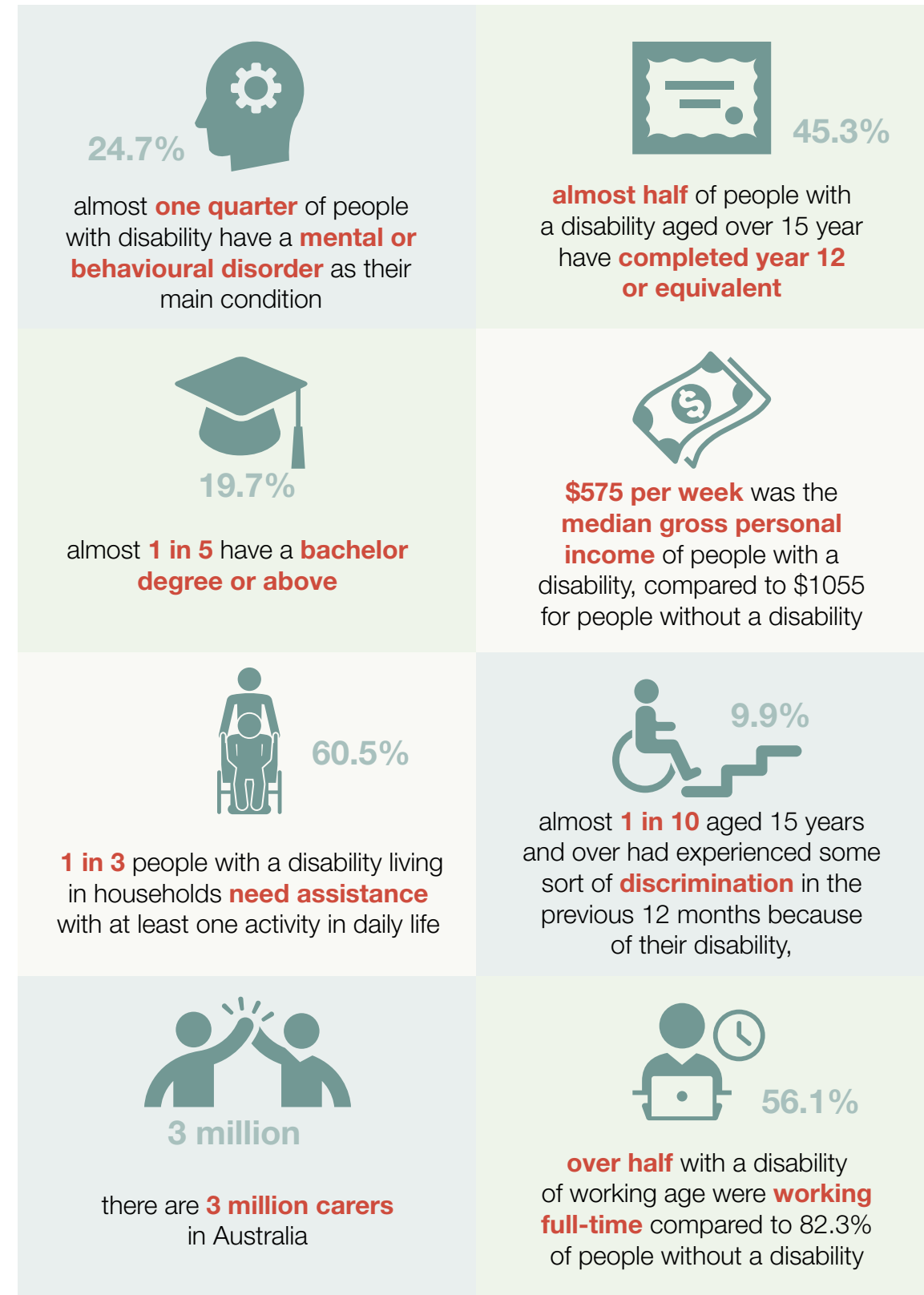
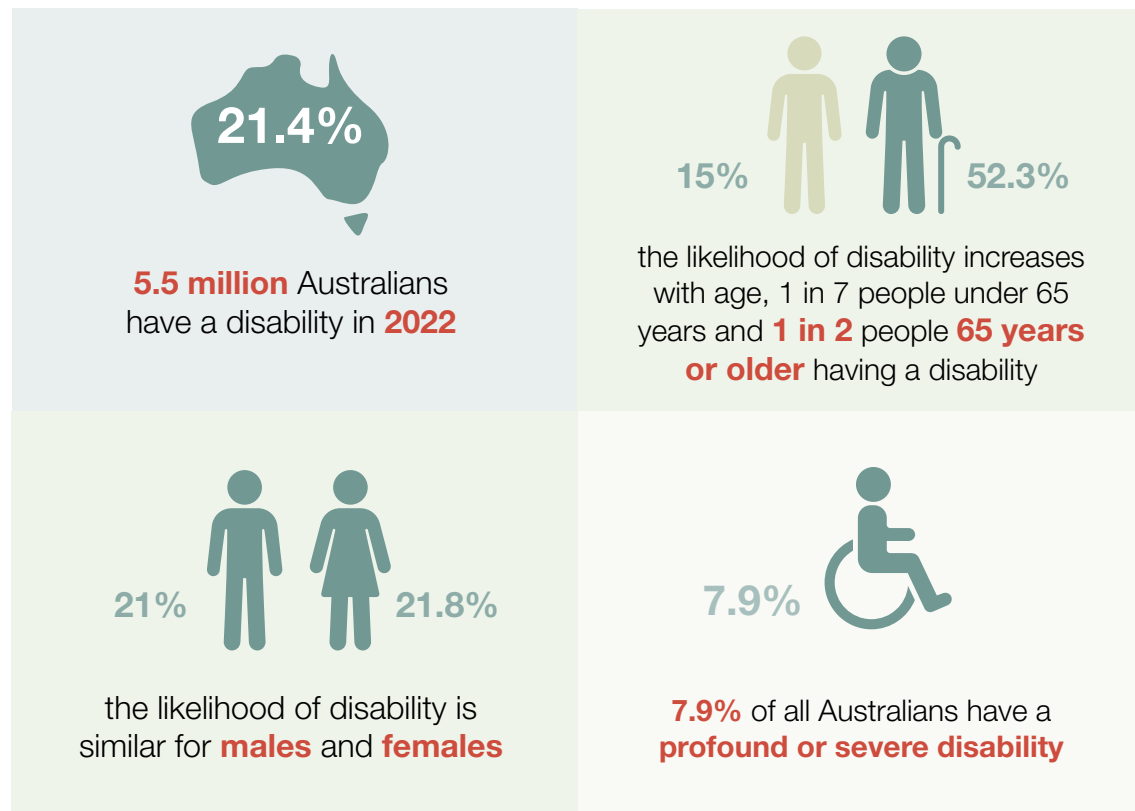
Our main town and commercial centre is Ballina, which is supported by other small towns and centres including Lennox Head, Alstonville, Wollongbar and Wardell. There are also a number of small villages and districts along the coast and in the hinterland. Our coast, the Richmond River and the escarpment and plateau near Alstonville are the standout geographic features in the shire. Their associated waterways, natural habitats, farming landscape and cultural and heritage values, along with the beaches and ocean, help to define our place and communities.



### Disability Data

The Australian Bureau of Statistics (ABS) conducts a survey of Disability, Ageing and Carers. The most recent survey was completed in 2022. The survey measures the incidence of disability in Australia, to measure the need for support for older people and people with disabilities, to provide a demographic profile of people with disability compared with the general population.

The following summary of results provides a profile of people with disability in Australia.



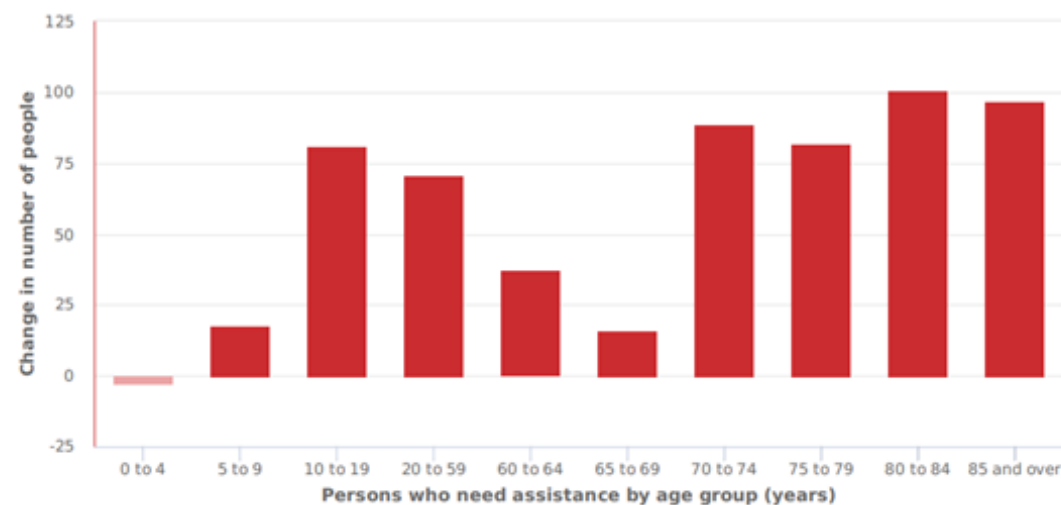
### Disability in Ballina Shire

In 2021, 3,117 people (or 6.7% of the population) in Ballina Shire reported needing help in their day to-day lives due to disability. This was a percentage increase from 2016.

Ballina Shire’s disability statistics relate directly to need for assistance due to a severe or profound disability. The data helps in understanding the prevalence of people who need support in the community and, along with information on unpaid care received by a person with a disability, how that support is provided. As can be seen from the table below there has been an overall increase in the number of people who identified as needing assistance.

Change in need for assistance with core activities, 2016 to 2021

Ballina Shire - Total persons



### Need for assistance with core activities

Ballina Shire persons (usual residence)

assistance needed by age group (years)	2021			2016			change
	no.	% of total age group	% regional NSW	no.	% of total age group	% regional NSW	2016 to 2021
0 to 4	29	1.3	1.6	32	1.5	1.3	-3
5 to 9	113	4.5	5.0	95	3.9	3.8	+18
10 to 19	246	4.7	4.8	165	3.4	3.6	+81
20 to 59	672	3.3	3.5	601	3.2	3.6	+71
60 to 64	183	5.4	6.5	146	4.5	7.0	+37
65 to 69	184	5.3	7.8	168	5.4	7.9	+16
70 to 74	263	8.1	10.4	174	7.4	9.6	+89
75 to 79	266	11.5	14.9	184	10.0	14.1	+82
80 to 84	361	21.9	24.8	260	19.1	23.1	+101
85 and over	792	43.8	46.2	695	39.5	43.8	+97
<b>total persons needing assistance</b>	<b>3,117</b>	<b>6.7</b>	<b>6.8</b>	<b>2,518</b>	<b>6.0</b>	<b>6.3</b>	<b>+599</b>

Source: Australian Bureau of Statistics, Census of Population and Housing 2016 and 2021

### Emerging groups

The major differences in the age groups reporting a need for assistance between 2016 and 2021 in Ballina Shire were in the age groups:

- 80 to 84 (+101 persons)
- 85 and over (+97 persons)
- 70 to 74 (+89 persons)
- 75 to 79 (+82 persons)

### Dominant groups

Analysis of the need for assistance of people in Ballina Shire compared to Regional NSW shows that there was a similar proportion of people who reported needing assistance with core activities.

Overall, 6.7% of the population reported needing assistance with core activities, compared with 6.8% for Regional NSW.

The major differences in the age groups reporting a need for assistance in Ballina Shire and Regional NSW were:

- A smaller percentage of persons aged 75 to 79 (11.5% compared to 14.9%)
- A smaller percentage of persons aged 80 to 84 (21.9% compared to 24.8%)
- A smaller percentage of persons aged 65 to 69 (5.3% compared to 7.8%)
- A smaller percentage of persons aged 85 and over (43.8% compared to 46.2%)

Need for assistance with core activities, 2021



Image credit: Copyright of State of NSW - Transport for NSW

In Ballina Shire there were 5,287 carers providing unpaid care to a person with a disability, long term illness or old age in 2021. The proportion of people providing unpaid care can be an important indicator of the level of demand for care services and the need for local and state governments to make provision for local facilities. An increasing proportion of carers among the population may indicate inadequate care provision, the need for in-home support, or support for the carers themselves.



### Unpaid care

Ballina Shire persons aged 15+ (usual residence)

assistance to a person with a disability, long term illness or old age	2021			2016			change
	no.	%	% regional NSW	no.	%	% regional NSW	2006 to 2011
provided unpaid assistance	5,287	13.6	13.1	4,445	12.8	12.6	+842
no unpaid assistance provided	30,978	79.9	79.3	26,872	77.1	77.0	+4,106
not stated	2,485	6.4	7.6	3,542	10.2	10.3	-1,057
<b>total persons aged 15+</b>	<b>38,750</b>	<b>100.0</b>	<b>100.0</b>	<b>34,859</b>	<b>100.0</b>	<b>100.0</b>	<b>+3,891</b>

Source: Australian Bureau of Statistics, Census of Population and Housing 2016 and 2021

### Achievements of the previous DIAP

From 2023 - 2025 Council has delivered a range of projects and implemented actions that directly support the needs of people with disability including:

- Supporting the role and function of the Access Reference Group.
- Construction of an extensive network of accessible shared pathways and ongoing condition audits of the pathway network.
- Alteration of the design specification for public amenities such as picnic tables, drinking fountains and garbage bins.
- Provision of a network of accessible unisex toilets with the Master Locksmith Access Key (MLAK) free of charge to eligible residents. MLAK keys can be used to open accessible toilets across Australia.
- Council web pages made compliant with Web Content Accessibility Guidelines 2.0 AA.
- Assessment of Council facilities to ensure accessibility.
- Continued support of the employment of the Regional Works Crew, which is made up of people who have intellectual disabilities.
- Training of Council staff in disability awareness.
- Provision of accessible beach wheelchairs free of charge.
- Sponsorship of local dementia symposium attended by 100+ people.
- Lennox Head Park upgrade includes accessible pathways, toilets and viewing points.
- Pop Denison Park upgrades includes, accessible playground equipment, pathways, BBQ facilities, picnic areas and accessible toilet.
- Signalised pedestrian crossing located in West Ballina providing a safer crossing point option for people with disabilities.
- Playground upgrades include accessible play options.
- Increased the number of accessible parking spaces across the shire.
- Auslan interpreter available at Council meetings and community consultations as requested.



*Shaws Bay access ramp to water*



Ballina Street, Lennox Head

Ballina Shire Council has been supported in achieving many outcomes of the DIAP via the input and direction of the Disability Access Reference Group. This group has assisted Council for over 25 years, with two members having been part of the group since its inception.

The group comprises individuals with a range of abilities and lived experiences. The group regularly provides Council with advice on proposed development via the review of development applications and Council infrastructure plans, and continues to provide advice to council on a broad range of access and inclusion issues.



Pop Denison Park, East Ballina



Tamar Street, Ballina accessible unisex toilets with change table



Shaws Bay covered picnic area



Shaws Bay pathways

### Development of the Plan

This plan was developed through research of best practice examples in the creation of more accessible places; demographic analysis of disability rates in our local government area; review of other DIAP's and relevant literature; and through several community engagement sources.

### Consultation

Council regularly consults with residents to better understand local issues and needs. This plan has been formulated from feedback gained from a review of the previous DIAP 2023-2026, numerous one-on-one conversations with people with disabilities, representations from disability support organisations, and feedback received as part of the development of Council's Community Strategic Plan (CSP).

The key messages received from community feedback are summarised as follows:

- The importance of enabling people with disabilities to participate in community life was a constant theme raised. Feedback to Council highlighted the importance of continuing to maintain and improve our pathways and amenities for accessibility.
- The importance of wayfinding, particularly for people living with dementia, has been raised as an area that should be improved in our community.
- Advocating for and promoting improvement in employment opportunities for people with disabilities was identified as an area that should be supported.
- Ensuring that accessible design elements are included in the construction of community infrastructure was identified as a key action Council can take to ensure accessibility for all residents.



## DIAP Action Plan

This section sets out actions that Council will follow to ensure that we are building a community that is inclusive and accessible.

The DIA 2014 sets out four focus areas that councils must address in their DIAPs:

1	<p><b>promote positive community attitudes and behaviours</b> to increase awareness and change negative perceptions over time</p>
2	<p><b>work to create liveable communities</b> to ensure that the built environment in Ballina is accessible to all people regardless of ability</p>
3	<p><b>implement systems and process</b> to ensure people with disabilities are able to access information and services</p>
4	<p><b>support employment opportunities</b> to support initiatives that increase opportunities for people with disabilities to enter into the workforce</p>

Legend:

<p><b>medium term</b> 2-4 years</p>	<p><b>short term</b> 0-2 years</p>
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### 1. ATTITUDES AND BEHAVIOURS

Council will work to improve the perceptions of people with a disability by undertaking the following actions:

action	aim and expected outcome	measures and targets	timeframe	
1.1	<b>Continue to support the role and function of the Ballina Shire Access Reference Group (ARG)</b>	A diverse and representative group are resourced to provide advice to Council on the access needs of people with disabilities who live, work or visit the Ballina Shire	<ul style="list-style-type: none"> <li>The group meets bi-monthly</li> <li>Terms of Reference are reviewed and updated as required</li> <li>An EOI process for membership is developed and implemented</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> <li>Short Term</li> <li>2026 and ongoing</li> </ul>
1.2	<b>Establish a portfolio of positive images of people with disability</b>	A portfolio of new professional photographs, reflecting the diversity of people living with a disability within the Ballina Shire, is completed	<ul style="list-style-type: none"> <li>Portfolio created</li> </ul>	<ul style="list-style-type: none"> <li>Short Term</li> </ul>
1.3	<b>Incorporate images of people with disability into corporate documents</b>	Images from Action 1.2 are incorporated into various Council publications	<ul style="list-style-type: none"> <li>Images are included in publications</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>
1.4	<b>Utilise Community Connect publication to promote the importance of access and inclusion</b>	Utilise Council's bi-monthly magazine to promote events and updates on matters relating to access and inclusion in the community	<ul style="list-style-type: none"> <li>ARG to suggest potential articles and ideas for inclusion</li> <li>Articles published</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>
1.5	<b>Include disability inclusion training during induction of new staff</b>	Suitable training is sourced and incorporated into induction processes. Senior staff and councillors are encouraged to attend ARG meetings	<ul style="list-style-type: none"> <li>Training is sourced and delivered</li> <li>Staff / councillors attend meetings</li> </ul>	<ul style="list-style-type: none"> <li>Short Term</li> <li>Ongoing</li> </ul>
1.6	<b>Acknowledge and promote International Day for People with Disability (IDPWD)</b>	Events, activities and/or profiles are promoted through Community Connect and Council's social media channels	<ul style="list-style-type: none"> <li>Suitable material is promoted in the lead up to IDPWD</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>

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2. LIVEABLE COMMUNITIES

Council aims to improve access and inclusion to the built environment

action	aim and expected outcome	measures and targets	timeframe	
2.1	<b>Apply the principles of universal design in the planning and construction of new and updated public spaces/ infrastructure to improve access for people with disabilities</b>	As Council undertakes any construction work to facilities in public spaces, the needs of people with mobility devices is incorporated into the design process to ensure equitable access	<ul style="list-style-type: none"> <li>Footpath / shared path widths accommodate wheelchairs and other mobility devices</li> <li>Accessible play equipment is incorporated into playground updates</li> <li>Suitable ramps are provided at road crossings and other interfaces where surfaces and gradients change.</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>
2.2	<b>Maintain and increase existing accessible toilets in working order</b>	Existing facilities are maintained to a high standard. New facilities are constructed over the four year cycle of the DIAP	<ul style="list-style-type: none"> <li>Regular maintenance and cleaning is undertaken</li> <li>Priority locations for new facilities are identified and budget allocated for construction.</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> <li>Medium Term</li> </ul>
2.3	<b>Promote the location of accessible toilets in the shire</b>	Maintain and update information on Council's website and data on the National Public Toilet Map website	<ul style="list-style-type: none"> <li>The process for obtaining a MLAK key is available and accessible on the website</li> <li>Any closures are reflected on the online map</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>
2.4	<b>Undertake a supply and demand audit of public accessible parking spaces</b>	Seek TfNSW data on the number of permits issued within Ballina Shire and assess whether current spaces are adequate for demand	<ul style="list-style-type: none"> <li>Data obtained and assessment undertaken</li> <li>ARG may nominate particular areas where additional Accessible parking may be required such as around hospital / health services</li> </ul>	<ul style="list-style-type: none"> <li>Short Term</li> <li>Ongoing</li> </ul>
2.5	<b>Advocate for improved access to commercial premises</b>	Identify commercial sites within the Ballina CBD that have poor access and provide information and support for how this could be improved	<ul style="list-style-type: none"> <li>Campaign / audit to identify sites with poor access</li> <li>Develop a package of material as to how to design and retrofit better access</li> </ul>	<ul style="list-style-type: none"> <li>Medium Term</li> </ul>



**3. SYSTEMS AND PROCESSES**

Council aims to ensure its systems and processes are inclusive and meet the needs of people with a disability

action	aim and expected outcome	measures and targets	timeframe
<b>3.1</b> Maintain Council's website compliance to WCAG21 AA standards	Council's websites comply with the guidelines	<ul style="list-style-type: none"> <li>Council's websites comply with the guidelines</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>
<b>3.2</b> Ensure access to Council documents and participation in Council meetings	Council's website, including attachments, are accessible via text to speech software and in large print hardcopy upon request. Auslan interpreters are available at Council meetings upon request	<ul style="list-style-type: none"> <li>Levels of accessibility to documents and Council processes are maintained and improved over time</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>
<b>3.3</b> Update Council's web page to include information about disability access services and amenities in the LGA	Information is continuously updated as required across all Council websites including the airport, gallery, community spaces, Discover Ballina etc	<ul style="list-style-type: none"> <li>Information is up to date, relevant and easy to find</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>



#### 4. MEANINGFUL EMPLOYMENT

Council aims to assist in increasing work opportunities for people with disabilities

action	aim and expected outcome	measures and targets	timeframe	
4.1	<b>Investigate opportunities to increase employment of people with a disability at Ballina Shire Council.</b>	Council investigates community partnerships and other supported employment schemes that increase employment opportunities	<ul style="list-style-type: none"> <li>Number of people with a disability increased</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>
4.2	<b>Support council staff with disabilities to continue to work with Ballina Shire Council</b>	Deliver strategies outlined in Council's Equal Employment Opportunity Management Plan relating to recruiting, training and retention of staff	<ul style="list-style-type: none"> <li>Staff support provided</li> </ul>	<ul style="list-style-type: none"> <li>Ongoing</li> </ul>



## Monitoring and Reporting

Council will continue to ensure that access and inclusion is embedded into our systems and processes, and be responsive to issues as they arise, responding accordingly.

Management of the implementation, monitoring and reporting of the actions within the DIAP will sit with Council's Strategic Planning section. Council's Access Reference Group will also support the implementation of the plan by providing ongoing feedback on the progress of the actions.

The priorities associated with the actions listed will provide a framework for completing each action.

Several of the actions are ongoing and these will be reported against as examples are completed. Implemented DIAP actions will be reported against quarterly as part of Council's Delivery Program and Operational Plan reporting cycle. These quarterly reports are available on Council's website at [ballina.nsw.gov.au/agendas-and-minutes](http://ballina.nsw.gov.au/agendas-and-minutes).

Ongoing assessment of actions within this Strategy will be conducted to make sure individual actions are relevant and meeting community needs throughout the DIAP timeframe.

Circumstances may occur where minor administrative changes to this document are made. Where an update does not significantly alter this document, such a change may be made administratively. This may include a change to the name of a Council, Commonwealth or State Government department or a minor update to legislation which does not have a significant impact. Any modifications that significantly change or update the document will only be done by resolution of Council.

As per the legislative requirements of the DIA 2014, an end of year report will also be lodged with the Disability Council of NSW.



*ballina* shire council  
**DISABILITY  
INCLUSION  
ACTION PLAN  
2026 - 2030**



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[ballina.nsw.gov.au](http://ballina.nsw.gov.au)

**POLICY NAME:** (REVIEW)  
RELATED PARTY DISCLOSURES

**POLICY REF:** R04

**MEETING ADOPTED:** 28 July 2022  
Resolution No. 280722/19

**POLICY HISTORY:** 260418/15, 250517/23



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### OBJECTIVE

The Related Party Disclosures Policy aims to assist Council in complying with disclosure requirements concerning Key Management Personnel (KMP), their close family members, and entities controlled or jointly controlled by any of them stipulated under the *Australian Accounting Standard AASB 124 Related Party Disclosures*.

### POLICY

#### Related Party Disclosures

In accordance with *AASB 124 Related Party Disclosures* Council must disclose all material and significant related party transactions in its annual financial statements and include the following detail:

- the nature of the related party relationship; and
- relevant information about the transaction including:
  - a) the amount of the transaction;
  - b) the amount of the outstanding balances, including commitments and their terms and conditions, including whether they are secured, and the nature of the consideration to be provided in settlements and details of any guarantee given or received;
  - c) provision for doubtful debts related to the amount of outstanding balances; and
  - d) the expense recognised during the period in respect of bad or doubtful debts due from related parties.

Related party transactions are required to be disclosed, regardless of whether a price is charged. Such transactions may include:

- purchase or sale of goods;
- purchase or sale of property and other assets;
- rendering or receiving services;
- leases;
- quotations and/or tenders;
- commitments; and
- settlements of liabilities on behalf of Council or by Council on behalf of the related party.

#### Identification of Related Parties and Related Party Relationships

Council management shall implement a suitable system to identify related parties. The primary identification method of close family members and associated entities of KMP shall be by (but not limited to) KMP self-assessment.

At 12 month intervals an initial identification or confirmation process will be undertaken and recorded, utilising the Related Party Identification Form set out in Attachment A. KMP have a responsibility to identify and report any changes to their related parties as they occur.

### **Identification and Recording of Related Party Transactions**

Council management shall identify suitable methodology and procedures for identifying and reporting on related party transactions such that accurate data will be collated.

The collation and recording of transactions will be completed at the end of each financial year, or sooner in the case where the elected member leaves office or the employee leaves the employment of Council. This process will be undertaken utilising the Related Party Transactions Notification (RPT) Form, or similar, set out in Attachment B, and Privacy Collection Notice Attachment C.

All identified transactions will be reviewed by the General Manager and Manager Financial Services, to determine materiality or otherwise of such transactions, if the transactions are ordinary citizen transactions, and to determine the significance of each of the transactions.

If any elected member or employee believes a transaction may constitute a related party transaction they must notify the General Manager who will, in consultation with the Manager Financial Services, make a determination on the matter.

### **Register of Related Party Transactions**

The Manager Financial Services must maintain and keep up to date a register of related parties and transactions that captures and records the information specified above and to ensure that the information is disclosed in Council's financial statements to the extent, and in the manner, stipulated by *AASB 124*.

### **Privacy**

Information provided by KMP and other related parties shall be held for the purpose of compliance with Council's legal obligations and shall be disclosed where required for compliance or legal reasons only.

### **BACKGROUND**

Related party relationships are a normal feature of commerce and business. For example, entities frequently carry on parts of their activities through subsidiaries, joint ventures and associates. In those circumstances, there is the possibility of the entity having the ability to affect the financial and operating policies of Council through the presence of control, joint control or significant influence.

A related party relationship could influence the normal business operations of Council. In some instances, Council may enter into transactions with a related party that unrelated parties would not. For example, goods may be supplied to Council on terms that might not be offered to other customers. Also, transactions between related parties may not be made on the same terms as between unrelated parties.

For these reasons, knowledge of Council's transactions and outstanding balances (including commitments and relationships with related parties) may affect assessments of Council's operations by users of financial statements, including assessments of the risks and opportunities facing the Council.

### DEFINITIONS

**AASB 124** means the Australian Accounting Standards Board, Related Party Disclosures Standard.

**Close members of the family of a person** are those family members who may be expected to influence, or be influenced by, that person in their dealings with the Council and include:

- (a) that person's children and spouse or domestic partner;
- (b) children of that person's spouse or domestic partner; and
- (c) dependants of that person or that person's spouse or domestic partner.

**Control** is the power to govern the financial and operating policies of any entity so as to obtain benefits from its activities.

**Key management personnel (KMP)** person(s) having authority and responsibility for planning, directing and controlling the activities of Council. KMP for the Ballina Shire Council are considered to include:

- (a) Councillors (including the Mayor);
- (b) General Manager; and
- (c) Directors

This also includes any and all people acting in the above positions during the financial year for a reasonable period of time.

**Material** (materiality) means the assessment of whether the transaction, either individually or in aggregate with other transactions, by omitting it or misstating it could influence decisions that users make on the basis an entity's financial statements. For the purpose of this policy, it is not considered appropriate to set either a dollar value or a percentage value to determine materiality.

**Ordinary citizen transaction** means a transaction that an ordinary citizen of the community would undertake in the ordinary course of business with Council.

**Possible (Possibly) Close members of the family of a person** are those family members who could be expected to influence, or be influenced by, that person in their dealings with Council and include:

- (a) that person's brothers' and sisters';
- (b) aunts', uncles', and cousins' of that person's spouse or domestic partner;
- (c) dependants of those persons' or that person's spouse or domestic partner as stated in (b); and
- (d) that person's or that person's spouse or domestic partners', parents' and grandparents'.

**Related Party** a person or entity is a related party of Council if any of the following apply:

- (a) entities related to Council;
- (b) KMP of Council;
- (c) close family members of KMP;
- (d) possible close family members of KMP's; and

## 8.5 Policy (Review) - Related Party Disclosures

Ballina Shire Council

(Review) Related Party Disclosures

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- (e) entities or persons that are controlled or jointly controlled by KMP, or their close family members, or their possible close family members.

**Related Party Transaction** is a transfer of resources, services or obligations between Council and a related party, regardless of whether a price is charged.

**Significant** (significance) means likely to influence the decisions that users of the Council's financial statements make having regard to both the extent (value and frequency) of the transactions, and that the transactions have occurred between the Council and related party outside a public service provider/ taxpayer relationship.

### **SCOPE OF POLICY**

This policy shall be applied in:

- (a) identifying related parties and relevant transactions;
- (b) identifying outstanding balances, including commitments, between Council and its related parties;
- (c) identifying the circumstances in which disclosure of the items in (a) and (b) is required; and
- (d) determining the disclosures to be made about those items.

This policy applies to:

- Councillors;
- Council employees; and
- Consultants/Contractors engaged by Council.

### **RELATED DOCUMENTATION**

Related documents, policies and legislation:

- AASB 124 Related Party Disclosures
- AASB 10 Consolidated Financial Statements
- Local Government Act 1993
- Code of Conduct

### **REVIEW**

The Related Party Disclosures Policy is to be reviewed every four years.



**Attachment B**

**RELATED PARTY TRANSACTIONS NOTIFICATION FORM**

*Note: This document is confidential and is not RTI-accessible. See Council's Related Party Disclosures Policy.*

Name of Key Management Person: .....

Position of Key Management Person: .....

*Please read the Privacy Collection Notice provided with this notification, which explains what is a related party transaction and the purpose for which Council is collecting, and will use and disclose, the related party information provided by you in this notification.*

*Please complete the table below for each related party transaction with Council that you, or a close member of your family, or an entity related to you or a close member of your family:*

- (a) *has entered into in the 20../. financial year; or*
- (b) *has entered into in the 20../. financial year, with financial transactions to occur in the future financial years (i.e. contract was signed between the related party and Council in 20../. for goods to be provided in 20../.).*

*If you or your related parties have no transactions with Council, please indicate **NIL**.*

Description of Related Transaction	Is transaction existing/potential?	Related Party's Name (Individual's or entity's name)	Amount of the Transaction	Details of Transaction including Terms and Conditions

**8.5 Policy (Review) - Related Party Disclosures**

Ballina Shire Council

(Review) Related Party Disclosures

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**Notification**

I ....., notify that, to the best of my knowledge, information and belief, as at the date of this notification, the above list includes all related party transactions with Council involving myself, close members of my family, or entities controlled or jointly controlled by me or close members of my family, relevant to the 20... financial year.

I make this notification after reading the Privacy Collection Notice provided by Ballina Shire Council, which details the meaning of the words "related party", "related party transaction", "close members of the family of a person" and, in relation to an entity, "control" or "joint control", and the purposes for which this information will be used and disclosed.

I permit the General Manager and the Manager Financial Services, to access the register of interests of me and persons related to me and to use the information for the purposes specified in Council's Related Party Disclosures Policy.

Signature of named Key Management Person: ..... Dated: .....

**Attachment C****BALLINA SHIRE COUNCIL****PRIVACY COLLECTION NOTICE  
RELATED PARTY TRANSACTION DISCLOSURES BY KEY MANAGEMENT  
PERSONNEL****Purpose of Collection, Use and Disclosure**

Effective for annual periods beginning on or after 1 July 2016, Council must disclose certain related party relationships and related party transactions together with information associated with those transactions in its general purpose financial statements, in order to comply with *Australian Accounting Standard AASB 124 Related Party Disclosures (AASB 124)*.

Related parties include Council's Key Management Personnel (KMP), their close family members, and any entities that they or any of their close family members control or jointly control.

A related party transaction is any transaction (whether a transfer of resources, services or obligations) between the reporting local government and any of the related parties, whether monetary or not.

If there is a related party transaction with Council applicable to a reporting financial year, *AASB 124* requires Council to disclose in the financial statements the nature of the related party relationship and information about the transaction, including outstanding balances and commitments associated with the transaction. In accordance with *AASB 124* an exemption applies to disclosing related party transactions that occurred at arm's length between the KMP and Council as part of Council delivering a public service objective. For example: **Paying rates, access to libraries and swimming pools by KMP, attending events that are open to the public.** These are not disclosed in the financial statements.

For more information about Council's disclosure requirements under *AASB 124*, please refer to Council's Related Party Disclosures Policy.

**Example of related party transactions**

- ~~Paying rates~~
- ~~Use of Council owned facilities such as swimming pools, libraries, parks, sporting fields and other public open spaces (whether charged a fee or not)~~
- ~~Attending Council functions that are open to the public~~
- Employee compensation whether it is for KMP or close family members of KMP
- Application fees paid to Council for licences, approvals or permits
- Lease agreements for housing rental (whether for a Council owned property or a property sub-leased by Council)
- Lease agreements for commercial properties
- Monetary and non-monetary transactions between Council and any business or associated entity owned or controlled by the related party (including family) in exchange for goods and/or services provided by/to Council (trading relationship)
- Sale or purchase of any property owned by Council, to a person identified above
- Sale or purchase of any property owned by a person identified above, to Council
- Loan arrangements
- Contracts and agreements for construction, consultancy, or services

### **Notifications by Key Management Personnel**

In order to comply with AASB 124, Council has adopted a policy that requires all members of its KMP to periodically provide notifications to the General Manager of any existing or potential related party transactions between Council and any of their related parties during a financial year, and any changes to previously notified related party relationships and transactions relevant to the subject financial year.

To this end, each KMP must provide a Related Party Transactions Notification, in the approved form, notifying any existing or potential related party transactions between Council and any related parties of the KMP, to the General Manager by no later than the following periods during a financial year:

- 30 days after a KMP commences their term or employment with Council;
- 30 days after 30 June.

Also, during a financial year, a KMP must proactively notify of any new or potential related party transactions that the person knows of, or any changes to previously notified related party relationships or transactions, relevant to the subject financial year by providing to the General Manager, additional Related Party Transaction Notifications by no later than 30 days after the person knows of the transaction or change.

Note, these related party transaction notification requirements are in addition to the notifications KMPs are required to make to comply with:

- for councillors, the material personal interests and conflicts of interest obligations in the *Local Government Act 1993* and the Code of Conduct; and
- for other KMPs, the Code of Conduct; and
- the notification of interests for the register of interests required to be kept under the *Local Government Regulation 2005 2021*.

The NSW Audit Office may audit related party information as part of the annual external audit.

### **Who are KMPs?**

KMPs are persons having authority and responsibility for planning, directing and controlling the activities of Council, directly or indirectly.

For Ballina Shire Council, KMPs include:

- the Mayor
- Councillors
- the General Manager
- Directors

This also includes any and all people acting in the above positions during the financial year for a reasonable period of time. The General Manager will make the final assessment as to whether the period and tasks undertaken were of a nature to be considered to have been a KMP.

**Who are close family members of a KMP Person?**

Close family members, or close members of the family, of a KMP are family members who may be expected to influence, or be influenced by, that person in their dealings with Council and include:

- (a) that person’s children and spouse or domestic partner;
- (b) children of that person’s spouse or domestic partner; and
- (c) dependants of that person or that person’s spouse or domestic partner.

The definition of close members of the family of a person for the purposes of *AASB 124* is broader than the definition of “related” in relation to a person for the purpose of a register of interests under the *Local Government Regulation*. For *AASB 124*, close family members could include extended members of a family (such as, without limitation, a parent, grandparent, siblings, etc) *if* they could be expected to influence, or be influenced by, the KMP in their dealings with Council.

For a related party transaction, unlike a register of interests, the related party and relationship must be disclosed for both the KMP and their close family member even if the same related party entity is held jointly or in common by them.

The following table may assist you in identifying your close family members:

<b>Definitely a close family member</b>	<b>Maybe a close family member</b>
Your spouse/domestic partner	Your brothers and sisters, if they could be expected to influence, or be influenced by, you in their dealings with Council.
Your children	Your aunts, uncles and cousins, if they could be expected to influence, or be influenced by, you in their dealings with Council.
Your dependants	Your parents and grandparents, if they could be expected to influence, or be influenced by, you in their dealings with Council.
Children of your spouse/domestic partner	Your nieces and nephews, if they could be expected to influence, or be influenced by, you in their dealings with Council.
Dependants of your spouse/domestic partner	Any other member of your family if they could be expected to influence, or be influenced by, you in their dealings with Council.

**What is an entity that I, or my close family member, control or jointly control?**

Entities include companies, trusts, incorporated and unincorporated associations such as clubs and charities, joint ventures and partnerships.

You control an entity if you have:

- (a) power over the entity;
- (b) exposure, or rights, to variable returns from your involvement with the entity; and
- (c) the ability to use your power over the entity to affect the amount of your returns.

### **Example of control**

Mary is the Mayor of Seahorse Shire Council and owns 100% of the ordinary shares in Seahorse Development Company Pty Ltd (the company). The ordinary shares are the only shares in the company that have voting rights.

Mary controls the company because she has the power to affect the company's decisions and the return that she will get from the company.

Mary will need to include the company on her related party transaction notification.

### **Joint control**

To jointly control an entity there must be contractually agreed sharing of control of the entity, which exists only when decisions about the relevant activities require the unanimous consent of the parties sharing control.

### **Example of joint control**

Mary is the Mayor of Seahorse Shire Council and owns 50% of the ordinary shares in Seahorse Development Company Pty Ltd (the company). Mary's brother, Bob owns the other 50% of the ordinary shares. Mary and Bob are the only directors of the company and have equal voting rights on the board.

Mary and Bob have joint control of the company because any decisions require the unanimous consent of them both.

Mary will need to include the company on her related party transaction notification and the entity's related party relationship with Mary and Bob.

In some cases it will be obvious that you or a family member control or have joint control over an entity. In other cases it will be less clear.

If you are unsure whether you, or a close family member, has control or joint control of an entity then you should contact the General Manager for a confidential discussion.

# RESIDENTIAL LAND FOR SALE

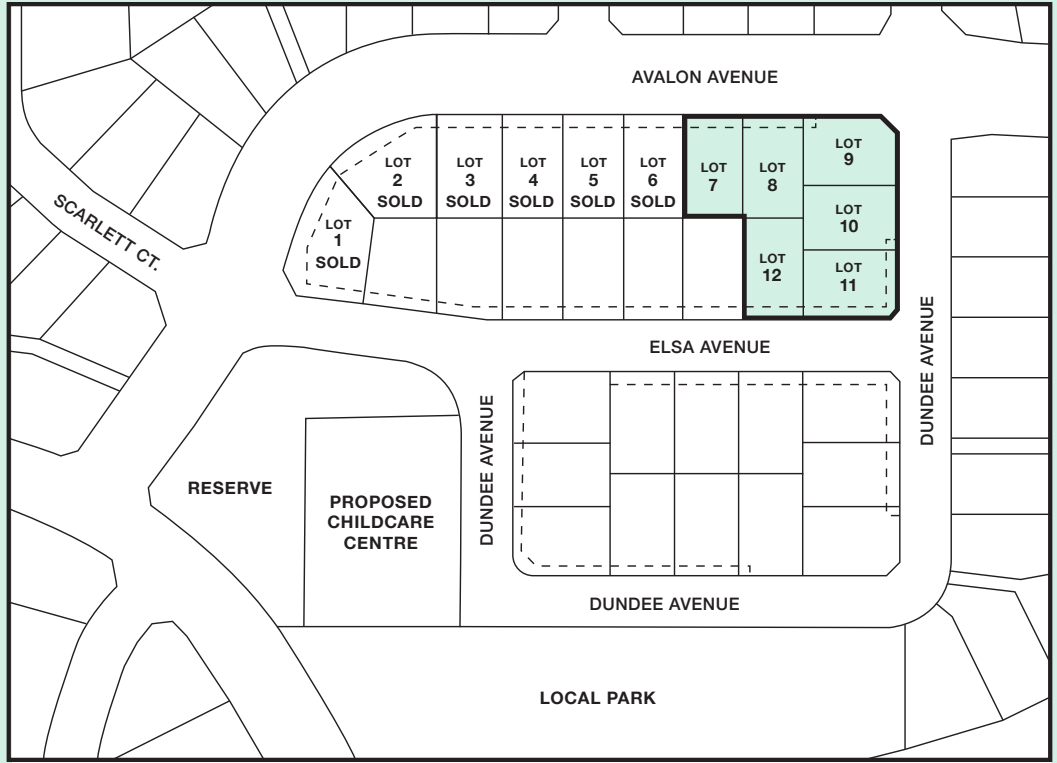
LOTS  
RANGING FROM  
600M<sup>2</sup> - 653M<sup>2</sup>



**WOLLONGBAR - RESIDENTIAL LOTS 7-12, DP1292552**



8.6 Wollongbar Urban Expansion Area - Residential Land Sales



LOT 7: \$565,000	LOT 10: \$555,000
LOT 8: \$565,000	LOT 11: \$575,000
LOT 9: \$570,000	LOT 12: \$565,000



*This site plan has prepared for illustrative purposes only.*

For further details please contact your preferred local agent or  
**Paul Tsikleas 0458 276 362** or **Leanne Harding 0429 909 976**

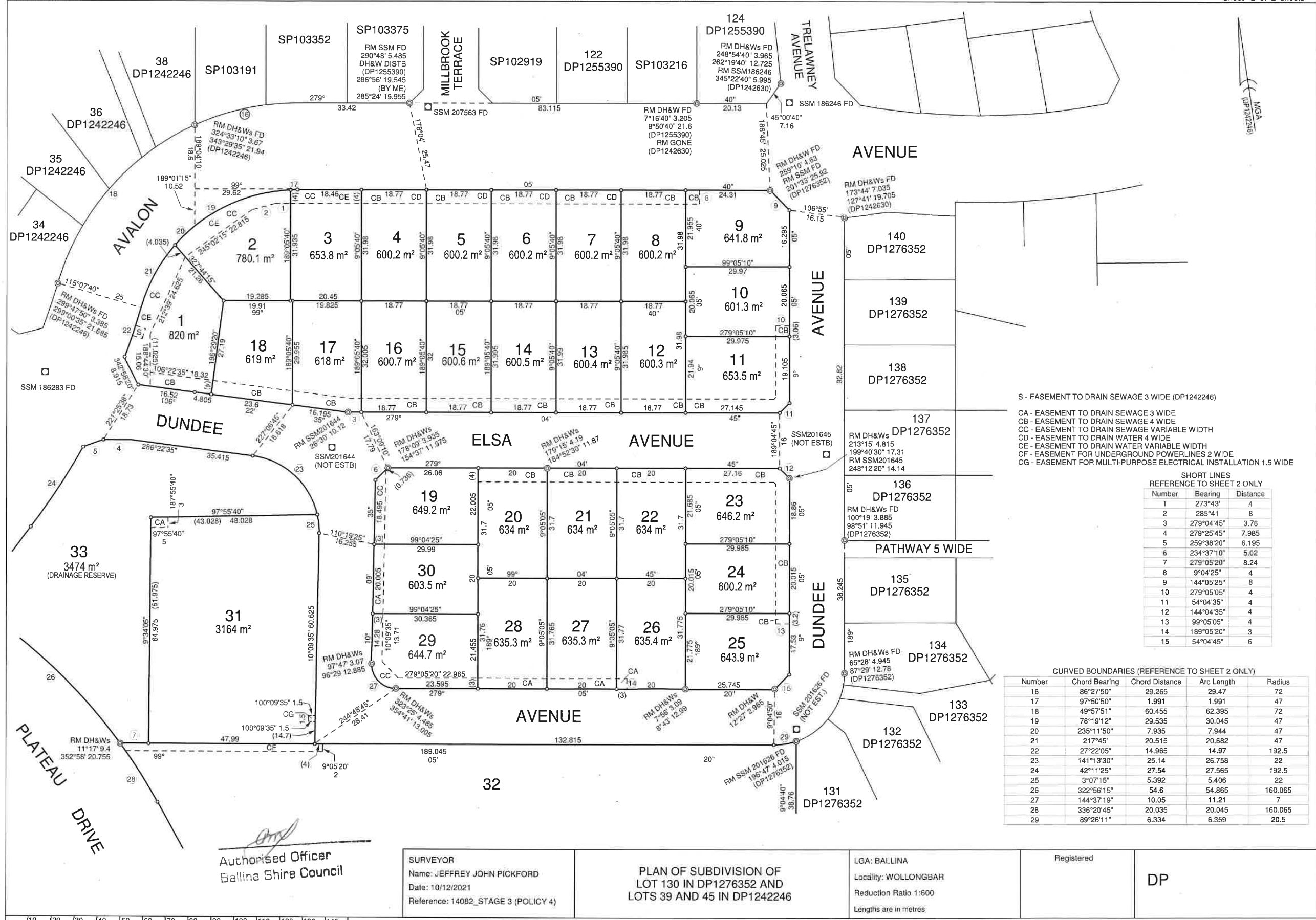




PLAN FORM 2 (A2)

WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION

Sheet 2 of 2 sheets



- S - EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1242246)
- CA - EASEMENT TO DRAIN SEWAGE 3 WIDE
- CB - EASEMENT TO DRAIN SEWAGE 4 WIDE
- CC - EASEMENT TO DRAIN SEWAGE VARIABLE WIDTH
- CD - EASEMENT TO DRAIN WATER 4 WIDE
- CE - EASEMENT TO DRAIN WATER VARIABLE WIDTH
- CF - EASEMENT FOR UNDERGROUND POWERLINES 2 WIDE
- CG - EASEMENT FOR MULTI-PURPOSE ELECTRICAL INSTALLATION 1.5 WIDE

SHORT LINES

REFERENCE TO SHEET 2 ONLY

Number	Bearing	Distance
1	273°43'	4
2	285°41'	8
3	279°04'45"	3.76
4	279°25'45"	7.985
5	259°38'20"	6.195
6	234°37'10"	5.02
7	279°05'20"	8.24
8	9°04'25"	4
9	144°05'25"	8
10	279°05'05"	4
11	54°04'35"	4
12	144°04'35"	4
13	99°05'05"	4
14	189°05'20"	3
15	54°04'45"	6

CURVED BOUNDARIES (REFERENCE TO SHEET 2 ONLY)

Number	Chord Bearing	Chord Distance	Arc Length	Radius
16	86°27'50"	29.265	29.47	72
17	97°50'50"	1.991	1.991	47
18	49°57'51"	60.455	62.395	72
19	78°19'12"	29.535	30.045	47
20	235°11'50"	7.935	7.944	47
21	217°45'	20.515	20.682	47
22	27°22'05"	14.965	14.97	192.5
23	141°13'30"	25.14	26.758	22
24	42°11'25"	27.54	27.565	192.5
25	3°07'15"	5.392	5.406	22
26	322°56'15"	54.6	54.865	160.065
27	144°37'19"	10.05	11.21	7
28	336°20'45"	20.035	20.045	160.065
29	89°26'11"	6.334	6.359	20.5

Authorised Officer  
Ballina Shire Council

SURVEYOR  
Name: JEFFREY JOHN PICKFORD  
Date: 10/12/2021  
Reference: 14082\_STAGE 3 (POLICY 4)

PLAN OF SUBDIVISION OF  
LOT 130 IN DP1276352 AND  
LOTS 39 AND 45 IN DP1242246

LGA: BALLINA  
Locality: WOLLONGBAR  
Reduction Ratio 1:600  
Lengths are in metres

Registered

DP

10 20 30 40 50 60 70 80 90 100 110 120 130 140

Operational Plan Review													
Capital Expenditure - Planning and Environmental Health Division - 2025/26													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
											Commence	Complete	
	<b>Open Spaces - Equipment and Embellishment</b>												
746	Crown Reserve Improvements	0	54,000		(54,000)		0	0	100	N/A	N/A	N/A	
940	Meldrum Park, Ballina	170,000	170,000				170,000	0	0	Complete	Apr-26	Jun-26	Ordered
1722	Ballina Pump Track	1,800,000	1,200,000	(9,000)	30,000		1,221,000	1,187,400	97	Complete	Complete	Complete	Stronger Country Communities Fund - Round 5 - \$734,000
1729	Sharpes Beach Master Plan	2,350,000	1,300,000	(35,000)	1,000,000		2,265,000	2,156,800	95	Complete	Complete	Complete	Regional Tourism Activation Fund Grant - \$1,050,000
1843	Park Shelters and Playground - Improvements	65,000	65,000				65,000	14,100	22	N/A	Jul-25	Jun-26	
1896	Kingsford Smith Crown Reserve - Revetment	940,000		0			0	21,200	100	Complete	Complete	Complete	Grant funded - Seeking Additional Grant Funds
1943	Prospect Park, Ballina	150,000	150,000			(150,000)	0	0	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
1947	Alstonville Creek Restoration	1,100,000	516,000	268,000		(750,000)	34,000	23,500	69	Complete	Apr-25	Dec-28	Grant - Urban Rivers and Catchment Program - Three Year Project - Defer to 2026/27
2085	Campbell Park, Alstonville	155,000	155,000			(155,000)	0	0	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
2087	Missingham Park, Ballina	420,000	420,000			(420,000)	0	300	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
2088	Montwood Park / Caloola, Lennox Head	180,000	180,000			(180,000)	0	0	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
2273	Hutley Drive - Sports Court	116,000	116,000				116,000	0	0	Complete	Apr-26	Jun-26	Grant funded project - Construction Commenced
2351	Water Fountain Priority Program	40,000	40,000				40,000	25,900	65	N/A	Ongoing	Ongoing	
2352	Safety Fencing Program	60,000	60,000				60,000	9,200	15	N/A	Ongoing	Ongoing	
2353	Ross Park, Lennox Head	35,000	60,000		(25,000)		35,000	32,500	93	Complete	Complete	Complete	
2354	Outdoor Fitness Equipment	58,000	58,000			(58,000)	0	0	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
2355	EA Brown Park, Alstonville	300,000	300,000			(300,000)	0	0	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
2356	Westland Park, Ballina	165,000	165,000			(165,000)	0	0	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
2401	Kingsford Smith Reserve - Car Park	350,000	0		350,000	(350,000)	0	0	100	Aug-26	Nov-26	Mar-27	Defer to 2026/27
2402	Kingsford Smith Reserve - Pedestrian Refuge	60,000	0		60,000		60,000	71,500	119	Complete	Complete	Complete	
2404	Boat Ramp, Sailing Club	10,000	0		10,000		10,000	500	5	Jun-26	Aug-26	Dec-26	Awaiting Crown Land Licence
2414	Cawarra Park Boating Infrastructure	2,000,000	0		50,000		50,000	0	0	Jun-26	Jan-27	Mar-28	50% Grant Funded - Procurement by December 2026 - completion by March 2028
	<b>Sub Total</b>	<b>10,524,000</b>	<b>5,009,000</b>	<b>224,000</b>	<b>1,421,000</b>	<b>(2,528,000)</b>	<b>4,126,000</b>	<b>3,542,900</b>	<b>86</b>				
	<b>Sports Fields</b>												
945	Sports Fields - Fencing Upgrades	40,000	40,000				40,000	24,100	60	N/A	Ongoing	Ongoing	
1491	Top Dressing - Various	115,000	85,000		30,000		115,000	119,600	104	Complete	Complete	Complete	
1846	Williams Reserve, Lennox Head - Irrigation	350,000	0	9,000	54,000		63,000	50,600	80	Complete	Complete	Complete	
2357	Saunders Oval Cricket Pitch	30,000	30,000		(30,000)		0	0	100	N/A	N/A	N/A	
2358	Building Design - Kingsford Smith Reserve	35,000	35,000				35,000	0	0	Dec-26	N/A	N/A	
2358	Building Design - Saunders Oval	30,000	30,000				30,000	0	0	Dec-26	N/A	N/A	
2374	Walsh Park, Wardell	20,000	20,000				20,000	0	0	Complete	Complete	Complete	Works Completed
2383	Fripp Oval - Remediation	1,000,000	1,000,000			(950,000)	50,000	24,300	49	Complete	Dec-26	Mar-27	Largely Grant Funded Project - Procurement by December 2026 - Complete March 2027
	<b>Sub Total</b>	<b>1,620,000</b>	<b>1,240,000</b>	<b>9,000</b>	<b>54,000</b>	<b>(950,000)</b>	<b>353,000</b>	<b>218,600</b>	<b>62</b>				
	<b>Total - Open Spaces</b>	<b>12,144,000</b>	<b>6,249,000</b>	<b>233,000</b>	<b>1,475,000</b>	<b>(3,478,000)</b>	<b>4,479,000</b>	<b>3,761,500</b>	<b>84%</b>				
	<b>Health and Environment</b>												
2390	Lake Ainsworth - Aerator and Foreshore	80,000	80,000				80,000	28,100	35	Complete	Oct-25	Jun-26	REF approved. Works to be completed post summer and Easter.
1517	Off Leash Exercise Area - Gap Road	6,000	6,000				6,000	200	3	Complete	Complete	Complete	
1742	Teven Reserve	940,000	0		8,000		8,000	7,600	95	Complete	Jul-24	Jun-26	Project delayed due to a review of cultural heritage
	<b>Total - Health and Environment</b>	<b>1,026,000</b>	<b>86,000</b>	<b>0</b>	<b>8,000</b>	<b>0</b>	<b>94,000</b>	<b>35,900</b>	<b>38%</b>				
	<b>Total - Planning and Environmental Health</b>	<b>13,170,000</b>	<b>6,335,000</b>	<b>233,000</b>	<b>1,483,000</b>	<b>(3,478,000)</b>	<b>4,573,000</b>	<b>3,797,400</b>	<b>83%</b>				

Operational Plan Review													
Capital Expenditure - Corporate and Community Division - 2025/26													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
											Commence	Complete	
	<b>Commercial Services</b>												
	<b>Airport</b>												
730	Terminal - Expansion	7,500,000	260,000	0	(260,000)		0	0	100	Jun-27	Uncertain	Uncertain	
734	Runway Strengthening and Overlay and Lights	20,000,000	0	45,000			45,000	47,600	106	Complete	Complete	Complete	
1834	Controlled Air Space	50,000	0	38,000			38,000	15,900	42	Complete	Apr-25	Jun-26	
2045	Terminal - Air-Conditioning	600,000	600,000			(300,000)	300,000	300,900	100	Complete	Complete	Complete	Saving - Transfer to Reserve
2135	Ground Transport Master Plan	4,450,000	4,450,000	55,000	(4,000,000)	(465,000)	40,000	35,400	89	Jun-26	Sep-26	Dec-27	Expenditure finalised for this financial year - Transfer to Reserve
2235	Hangar Site Preparation	200,000	90,000		(65,000)	(20,000)	5,000	1,500	30	Complete	Dec-25	Mar-26	Expenditure finalised for this financial year - Transfer to Reserve
2491	Crown Land Acquisition	16,000				17,000	17,000	16,900	99	Complete	Complete	Complete	Transfer from Airport Reserve
	<b>Sub Total</b>	<b>32,816,000</b>	<b>5,400,000</b>	<b>138,000</b>	<b>(4,325,000)</b>	<b>(768,000)</b>	<b>445,000</b>	<b>418,200</b>	<b>94</b>				
	<b>Commercial Property</b>												
724	Wollongbar Urban Expansion Area - Stage 3	3,000,000	0	294,000			294,000	309,800	105	Complete	Complete	Complete	
725	Southern Cross Industrial - Boeing Avenue - Lot 3	8,400,000	0	381,000		(360,000)	21,000	19,900	95	Complete	Complete	Complete	Approval Outstanding for Filling Lots 10, 11 and 12 - Defer to 2026/27
728	Flat Rock - Improvements	380,000	20,000		360,000		380,000	0	0	Complete	May-26	Jun-26	Contract Awarded
1756	Russellton Industrial Estate - Final Stage	7,000,000	50,000	1,360,000		(1,200,000)	210,000	163,300	78	Complete	Complete	Dec-25	Contributions, Registration and Veg Outstanding - Defer to 2026/27
2242	Wigmore Arcade Tenant Car Park	32,000	0	4,000			4,000	1,100	28	Complete	Complete	Complete	
3210	Stokers Quarry - Rehabilitation	455,000	250,000	119,000		(360,000)	9,000	8,800	98	Complete	Jul-24	Jun-27	Three Year Program of Works - Defer to 2026/27
	<b>Sub Total</b>	<b>19,267,000</b>	<b>320,000</b>	<b>2,158,000</b>	<b>360,000</b>	<b>(1,920,000)</b>	<b>918,000</b>	<b>502,900</b>	<b>55</b>				
	<b>Total - Commercial Services</b>	<b>52,083,000</b>	<b>5,720,000</b>	<b>2,296,000</b>	<b>(3,965,000)</b>	<b>(2,688,000)</b>	<b>1,363,000</b>	<b>921,100</b>	<b>68%</b>				
	<b>Facilities Management</b>												
	<b>Community Buildings</b>												
1514	Kentwell Centre - Renewal works	45,000	45,000		(45,000)		0	5,200	100	N/A	N/A	N/A	
1878	Alstonville Cultural Centre - Refurbishment	17,000,000	7,460,000	86,000	(5,000,000)	(1,000,000)	1,546,000	265,900	17	Complete	May-26	Jun-27	Contract Awarded - Site Works Commenced - Defer \$1m to 2026/27
2050	Lennox Head Cultural Centre - Roof Foyer	195,000	0	112,000	65,000		177,000	192,000	108	Complete	Complete	Complete	
2051	Lennox Head Cultural Centre - Roof CWA Hall	70,000	0	69,000	(68,000)		1,000	1,500	150	Complete	Complete	Complete	
2052	Lennox Head Cultural Centre - Carpet / Paint	60,000	0	59,000			59,000	200	0	Complete	Apr-26	May-26	
2053	Ballina Library / VIC - Internal Paint	36,000	0	94,000	(58,000)		36,000	36,700	102	Complete	Complete	Complete	
2115	Ballina Library / VIC - Security Upgrade	79,000	0	78,000	(78,000)		0	0	100	N/A	N/A	N/A	
2166	Ballina Library - Foyer and Refurbishment	200,000	0	168,000	8,000		176,000	175,500	100	Complete	Complete	Complete	
2056	Gallery - Deck and Enclosure	125,000	125,000			(115,000)	10,000	3,800	38	Jun-26	Uncertain	Uncertain	Development Consent Outstanding - Defer to 2026/27
2281	Ballina Indoor Sports Centre - Court Lighting	20,000	0	20,000	(20,000)		0	0	100	N/A	N/A	N/A	
2322	Ballina CWA - Re-roof	50,000	50,000				50,000	5,400	11	Complete	Apr-26	Jun-26	Contract Awarded
2323	Ballina Library/Richmond Room/VIC - Eaves	120,000	120,000				120,000	0	0	Complete	Apr-26	Jun-26	Contract Awarded
2324	Ballina Library/Richmond Room/VIC - Re-roof	220,000	220,000				220,000	0	0	Complete	Apr-26	Jun-26	Contract Awarded
2325	Marine Rescue Tower - Windows	115,000	70,000		45,000		115,000	500	0	Complete	May-26	Jun-26	
2368	Crawford House - Roof, Paint and Miscellaneous	51,000	51,000				51,000	13,200	26	Dec-25	Feb-26	Apr-26	
2373	Naval Museum Expansion	450,000	450,000			(425,000)	25,000	0	0	Jun-26	Aug-26	Jun-27	Approvals to be Finalised - Defer to 2026/27
2481	Wollongbar Hall	59,000	0		59,000		59,000	0	0	Complete	Mar-26	Jun-26	Majority of Works Complete
	<b>Sub Total</b>	<b>18,895,000</b>	<b>8,591,000</b>	<b>686,000</b>	<b>(5,092,000)</b>	<b>(1,540,000)</b>	<b>2,645,000</b>	<b>699,900</b>	<b>26</b>				

continued on following page

Capital Expenditure - Corporate and Community Division - 2025/26 (continued)													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
	<b>Administration Centre and Depot Facilities</b>												
1481	Depot - Administration Building	7,300,000	0	13,000			13,000	22,100	170	Complete	Complete	Complete	
1763	Depot - Fuel System	885,000	885,000		(165,000)	(700,000)	20,000	600	3	Complete	Mar-26	Jun-26	Part 5 Approval to be Amended - Defer to 2026/27
2057	Depot - Internal Car Park	315,000	0	190,000	125,000		315,000	308,300	98	Complete	Complete	Complete	
2058	Depot - Store Roof	165,000	0	143,000	20,000		163,000	163,400	100	Complete	Complete	Complete	
2059	Depot - Water / Wastewater Roof	130,000	0	270,000	(140,000)		130,000	130,000	100	Complete	Complete	Complete	
2207	Depot - Open Spaces Roof	145,000	0	129,000	15,000		144,000	144,000	100	Complete	Complete	Complete	
2326	Depot - Compound (Store and Small Plant)	187,000	187,000	0	(187,000)		0	0	100	N/A	N/A	N/A	
2411	Depot - Relocations	100,000	0		100,000		100,000	68,300	68	Complete	Jan-26	Jun-26	
	<b>Sub Total</b>	<b>9,227,000</b>	<b>1,072,000</b>	<b>745,000</b>	<b>(232,000)</b>	<b>(700,000)</b>	<b>885,000</b>	<b>836,700</b>	<b>95</b>				
	<b>Public Amenities</b>												
2139	Bulwinkel Park	80,000	0	71,000			71,000	14,800	21	Complete	May-26	Jun-26	REF Under Review
2140	Cawarra Park	80,000	79,000		(73,000)		6,000	6,500	108	Defer	Defer	Defer	
2142	Freeborn Park	150,000	148,000				148,000	28,100	19	Complete	Feb-26	Jun-26	Contract Awarded
2480	North Missingham Park	120,000			120,000		120,000	0	0	Complete	Apr-26	Jun-26	
	<b>Sub Total</b>	<b>430,000</b>	<b>227,000</b>	<b>71,000</b>	<b>47,000</b>	<b>0</b>	<b>345,000</b>	<b>49,400</b>	<b>14</b>				
	<b>Plant and Fleet</b>												
740	Light Vehicles and Heavy Plant (Net)	2,000,000	2,000,000				2,000,000	642,600	32	N/A	On-going	On-going	
	<b>Swimming Pools</b>												
1963	Alstonville Swimming Pool - Energy Efficiency	0	47,000		(47,000)		0	0	100	N/A	N/A	N/A	
1963	Alstonville Swimming Pool - Power Correction	17,000			17,000		17,000	23,000	135	Complete	Complete	Complete	
1963	Ballina Swimming Pool - Power Correction	23,000			23,000		23,000	17,200	75	Complete	Complete	Complete	
	<b>Sub Total</b>	<b>23,000</b>	<b>47,000</b>	<b>0</b>	<b>(7,000)</b>	<b>0</b>	<b>40,000</b>	<b>40,200</b>	<b>101</b>				
	<b>Total - Facilities Management</b>	<b>30,575,000</b>	<b>11,937,000</b>	<b>1,502,000</b>	<b>(5,284,000)</b>	<b>(2,240,000)</b>	<b>5,915,000</b>	<b>2,268,800</b>	<b>38%</b>				
	<b>Destination and Economy</b>												
1959	Historical Riverfront Walk - Signage	180,000	0	90,000			90,000	89,500	99	Complete	Complete	Complete	Grant funded project
	<b>Information Services</b>												
1050	CCTV Installation	1,000,000	0		500,000	(300,000)	200,000	0	0	Jun-26	Jun-26	Mar-27	Grant funded project - Tender Awarded - Defer Part to 2026/27
	<b>Total - Corporate and Community</b>	<b>83,838,000</b>	<b>17,657,000</b>	<b>3,888,000</b>	<b>(8,749,000)</b>	<b>(5,228,000)</b>	<b>7,568,000</b>	<b>3,279,400</b>	<b>43%</b>				

Operational Plan Review													
Capital Expenditure - Emergency Service, Infrastructure Planning and NEWLOG - 2025/26													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
											Commence	Complete	
<b>Emergency Services</b>													
756	SES Building, Ballina	7,100,000	2,700,000	19,000	1,850,000		4,569,000	3,235,400	71	Complete	Sep-25	Sep-26	Construction underway
	<b>Sub Total</b>	<b>7,100,000</b>	<b>2,700,000</b>	<b>19,000</b>	<b>1,850,000</b>	<b>0</b>	<b>4,569,000</b>	<b>3,235,400</b>	<b>71</b>				
<b>Infrastructure</b>													
748	Surveying Equipment	43,000	43,000		(43,000)		0	0	100	N/A	N/A	N/A	
2148	Crown Land Acquisition	189,000	0		189,000		189,000	0	0	Complete	May-26	Jun-26	
	<b>Sub Total</b>	<b>232,000</b>	<b>43,000</b>	<b>0</b>	<b>146,000</b>	<b>0</b>	<b>189,000</b>	<b>0</b>	<b>0</b>				
<b>NEWLOG</b>													
1235	Plant Replacement	0	0				0	0	100	N/A	N/A	N/A	No purchases planned for 2025/26
	<b>Sub Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>100</b>				
<b>Total - Emergency Services and NEWLOG</b>		<b>7,332,000</b>	<b>2,743,000</b>	<b>19,000</b>	<b>1,996,000</b>	<b>0</b>	<b>4,758,000</b>	<b>3,235,400</b>	<b>68%</b>				

Operational Plan Review													
Capital Expenditure - Resource Recovery - 2025/26													
31-March-2026													
Reference	Project Description	Total Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent Complete	Construction		Status
											Commence	Complete	
1265	Resource Recovery - Front of House	2,400,000	1,250,000	208,000	(858,000)		600,000	301,100	50	Jun-26	Sep-26	Jun-27	Detailed design and planning approval process underway
1513	Resource Recovery - Bulk Loadout Area	2,500,000	0	50,000			50,000	0	0	Apr-27	Jan-27	Feb-28	Planning underway
2048	Resource Recovery - Leachate and Scada	130,000	0	32,000			32,000	8,000	25	Complete	Complete	Complete	Design complete
<b>Total - Resource Recovery</b>		<b>5,030,000</b>	<b>1,250,000</b>	<b>290,000</b>	<b>(858,000)</b>	<b>0</b>	<b>682,000</b>	<b>309,100</b>	<b>45%</b>				

Operational Plan Review Capital Expenditure - Water Operations - 2025/26 31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
											Commence	Complete	
<b>Trunk Mains and Main Renewals</b>													
991	Reticulation Valve Replacement	50,000	50,000				50,000	0	0	N/A	On-going	On-going	Reactive program - as required
1005	Meters - New	250,000	250,000				250,000	207,000	83	N/A	On-going	On-going	
1006	Meters - Replacements	210,000	210,000				210,000	162,100	77	N/A	On-going	On-going	
2095	Norton Street, Ballina	500,000	500,000		(100,000)		400,000	51,500	13	Complete	May-26	Dec-26	
2101	Stonehenge Place, Lennox Head	300,000	400,000		(100,000)	(50,000)	250,000	173,000	69	Complete	Complete	Jun-26	Saving - Transfer to Reserve
2103	Sunrise Crescent, Lennox Head	265,000	370,000		(105,000)		265,000	262,900	99	Complete	Complete	Complete	
2105	Basalt Court Gravity Main Augmentation	50,000	50,000		(40,000)		10,000	1,700	17	Jun-26	Jul-26	Jun-27	Design and investigation only.
2297	Kings Court, Lennox Head	216,000	530,000		(314,000)		216,000	222,100	103	Complete	Complete	Complete	
2298	Coast Road (Pinnacle Row), Lennox Head	90,000	110,000		(20,000)	(30,000)	60,000	5,500	9	Complete	Complete	Jun-26	Saving - Transfer to Reserve
2299	Winton Lane, Ballina	300,000	300,000				300,000	26,100	9	Complete	Mar-26	Jun-26	Project Commenced
2300	Fox Street (Meldrum Park/Martin St), Ballina	300,000	300,000			50,000	350,000	349,200	100	Complete	Complete	Complete	Complete - Transfer from Reserve
2301	Williams Street, Lennox Head	10,000	10,000		(7,000)		3,000	2,100	70	Complete	Complete	Complete	
<b>Sub Total</b>		<b>2,541,000</b>	<b>3,080,000</b>	<b>0</b>	<b>(686,000)</b>	<b>(30,000)</b>	<b>2,364,000</b>	<b>1,463,200</b>	<b>62</b>				
<b>Miscellaneous</b>													
987	Telemetry	20,000	20,000				20,000	6,600	33	N/A	On-going	On-going	
992	Water Loss Reduction Program	93,000	50,000	43,000			93,000	0	0	N/A	On-going	On-going	Actions Identified in Demand Management Assessment Report
1004	Plant and Equipment	100,000	100,000				100,000	10,400	10	N/A	On-going	On-going	
2108	Depot - Administration Building	7,300,000	112,000	(96,000)			16,000	16,600	104	Complete	Complete	Complete	
2391	Depot - Administration Building - Fit Out	35,000	0	35,000			35,000	58,500	167	Complete	Complete	Complete	
<b>Sub Total</b>		<b>7,548,000</b>	<b>282,000</b>	<b>(18,000)</b>	<b>0</b>	<b>0</b>	<b>264,000</b>	<b>92,100</b>	<b>35</b>				
<b>Reservoirs</b>													
982	Reservoir - EPIQ Estate	2,000,000		64,000			64,000	41,500	65	Complete	Complete	Complete	Contractor resolving defects
985	Reservoir - Lennox Head	150,000	14,000				14,000	0	0	Complete	Mar-26	Jun-26	
986	Reservoir - Pine Avenue	185,000	60,000	36,000	(93,000)		3,000	2,400	80	Jun-26	Jul-26	Dec-26	
2106	Reservoir - Painting	50,000	0	10,000	40,000		50,000	1,500	3	Complete	Apr-26	Jun-26	Works Commenced
2302	Reservoirs - Rectification / Sealing	50,000	50,000				50,000	0	0	Complete	Apr-26	Jun-26	
<b>Sub Total</b>		<b>2,435,000</b>	<b>124,000</b>	<b>110,000</b>	<b>(53,000)</b>	<b>0</b>	<b>181,000</b>	<b>45,400</b>	<b>25</b>				
<b>Total - Water Operations</b>		<b>12,524,000</b>	<b>3,486,000</b>	<b>92,000</b>	<b>(739,000)</b>	<b>(30,000)</b>	<b>2,809,000</b>	<b>1,600,700</b>	<b>57%</b>				

Operational Plan Review Capital Expenditure - Wastewater Operations - 2025/26 31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
											Commence	Complete	
<b>Main Renewals including Recycled Water (RW)</b>													
1071	Rising Main - Seamist Place, Lennox Head	524,000	500,000	24,000	(400,000)		124,000	0	0	Jun-26	Aug-26	Dec-26	
1094	RW Meter Connections	50,000	50,000				50,000	15,900	32	Ongoing	Ongoing	Ongoing	
1228	Relining Works	750,000	750,000			40,000	790,000	435,000	55	Complete	Complete	Complete	Awaiting Final Contractor Payment
1236	Rising Main - Swift Street, Ballina	20,000	20,000				20,000	8,400	42	Jun-26	Jul-26	Jun-27	
1861	Transfer Main - Alstonville / Wollongbar	1,150,000	0	253,000			253,000	168,800	67	Complete	Complete	Complete	Awaiting Final Contractor Payment
1862	Rising Main - Skinners Street / Crowley	50,000	50,000		(27,000)		23,000	22,600	98	Dec-25	Jul-26	Jun-27	
1873	Main Extension - Palm Lake	300,000	300,000		(100,000)	(75,000)	125,000	120,700	97	Complete	Complete	Complete	Saving - Transfer to Reserve
1874	RW Connection - Convair Ave to Airport	510,000	0	509,000			509,000	483,800	95	Complete	Complete	Complete	
1875	RW Main - Ferngrove Estate	290,000	240,000	50,000		(60,000)	230,000	211,600	92	Complete	Complete	Complete	Saving - Transfer to Reserve
2034	RW Main - Prospect Bridge to Links Avenue	590,000	590,000			(90,000)	500,000	494,800	99	Complete	Complete	Complete	Saving - Transfer to Reserve
2130	Rising Main - Serpentine	320,000	20,000		300,000	(250,000)	70,000	0	0	Complete	Apr-26	Aug-26	Tenders Close 30 April - Defer Part to 2026/27
2133	RW Bulk Filling Point	50,000	0	50,000	(40,000)		10,000	0	0	Complete	Complete	Complete	
2315	RW Main - Links Avenue to Chickiba	402,000	400,000		2,000		402,000	401,900	100	Complete	Complete	Complete	
2318	RW Main - Canal Bridge to Ferngrove	550,000	650,000		(100,000)	(300,000)	250,000	8,500	3	Complete	May-26	Aug-26	Tenders Close 14 April - Defer Part to 2026/27
2369	Gravity Main - SP2402 Liffey Avenue	20,000	40,000		(20,000)		20,000	21,400	107	Complete	Complete	Complete	
2370	Gravity Main - SP2402 Lindsay Avenue	10,000	20,000		(10,000)		10,000	1,300	13	Mar-26	Jul-26	Jun-27	
2384	Distribution Main - Lennox Head	350,000	350,000			(350,000)	0	0	100	N/A	Uncertain	Uncertain	Developer dependent - Transfer to Reserve
2409	Rising Main - Alstonville High	250,000	100,000		150,000	(240,000)	10,000	7,100	71	Complete	May-26	Aug-26	Tenders Close 30 April - Defer Part to 2026/27
<b>Sub Total - Mains</b>		<b>6,186,000</b>	<b>4,080,000</b>	<b>886,000</b>	<b>(245,000)</b>	<b>(1,325,000)</b>	<b>3,396,000</b>	<b>2,401,800</b>	<b>71</b>				
<b>Pumping Stations</b>													
1009	Wet Well Relining Program	310,000	200,000				200,000	198,600	99	Complete	Complete	Complete	
1067	Pumping Station - Lindsay Ave SP2402	1,100,000	80,000	17,000		(47,000)	50,000	41,200	82	Complete	Complete	Complete	Saving - Transfer to Reserve
Various	Renewal Works	1,500,000	700,000	378,000	422,000	(800,000)	700,000	405,000	58	On-going	On-going	On-going	Saving - Transfer to Reserve
2116	Pumping Station - SPS 2101 Rebuild	150,000	150,000		(100,000)		50,000	0	0	Jun-26	Sep-26	Dec-26	
2117	Pumping Station - Odour Control	100,000	100,000		(100,000)		0	0	100	N/A	N/A	N/A	
<b>Sub Total - Pumping Stations</b>		<b>3,160,000</b>	<b>1,230,000</b>	<b>395,000</b>	<b>222,000</b>	<b>(847,000)</b>	<b>1,000,000</b>	<b>644,800</b>	<b>64</b>				
<b>Miscellaneous</b>													
1238	Plant Changeovers	200,000	200,000				200,000	47,100	24	N/A	On-going	On-going	
1128	Telemetry	500,000	500,000				500,000	136,000	27	N/A	On-going	On-going	
2132	Depot - Administration Building	7,300,000	113,000	(96,000)			17,000	16,600	98	Complete	Complete	Complete	
2132	Depot - Administration Building - Fit Out	35,000	0	35,000			35,000	49,400	141	Complete	Complete	Complete	
<b>Sub Total - Miscellaneous</b>		<b>8,035,000</b>	<b>813,000</b>	<b>(61,000)</b>	<b>0</b>	<b>0</b>	<b>752,000</b>	<b>249,100</b>	<b>33</b>				
<i>continued on following page</i>													

Capital Expenditure - Wastewater Operations - 2024/25 (continued)													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
											Commence	Complete	
	<b>Treatment Plants</b>												
1015	Lennox Head - Minor	20,000	20,000				20,000	0	0	N/A	On-going	On-going	
1016	Alstonville - Minor	30,000	10,000		20,000		30,000	21,300	71	N/A	On-going	On-going	
1017	Wardell - Minor	10,000	10,000				10,000	0	0	N/A	On-going	On-going	
1226	Ballina - Minor	20,000	20,000				20,000	12,000	60	N/A	On-going	On-going	
1019	Ballina - Post Completion - Rectification	9,000,000	0	825,000	(490,000)		335,000	335,700	100	Complete	Complete	Complete	
1024	Ballina - Solar	1,200,000	630,000		(500,000)	(130,000)	0	0	100	Complete	Jul-26	Dec-26	Project Ready for Tender - Defer to 2026/27
2118	Ballina - Hypo Dosing	100,000	0	100,000	(100,000)		0	0	100	Jun-26	Jul-26	Dec-26	
2120	Ballina - Sludge Digester Aeration Upgrade	900,000	800,000	95,000		(875,000)	20,000	11,700	59	Feb-26	May-26	Sep-26	Progressing with Options Analysis - Transfer to Reserve
2208	Ballina - Access Road	140,000	0	10,000			10,000	500	5	Complete	Apr-25	Jun-26	
2304	Ballina - Roof Replacement	250,000	250,000		(250,000)		0	0	100	Dec-25	Mar-26	Jun-26	
2305	Ballina - Foul Water Pump	0	50,000		(50,000)		0	0	100	Complete	Complete	Complete	Completed
2413	Ballina - Back-up Generator	50,000			50,000		50,000	0	0	Feb-26	Apr-26	Jun-26	
1029	Lennox Head - Solar	610,000	0	10,000	(10,000)		0	0	100	Jun-26	Oct-26	Jun-27	
1031	Lennox Head - Chlorination Renewal	825,000		59,000	(59,000)		0	0	100	Complete	Complete	Complete	Completed
1860	Lennox Head - Sludge Return	150,000		150,000	(70,000)	(60,000)	20,000	200	1	Jun-26	Oct-26	12//26	Transfer to Reserve
2121	Lennox Head - Belt Press	435,000	590,000	100,000	(255,000)		435,000	391,800	90	Complete	Nov-25	May-26	
2122	Lennox Head - WAS Pump Upgrade	150,000		150,000		(120,000)	30,000	8,500	28	Dec-25	Jun-26	Dec-26	Civil Design Complete - Defer Part to 2026/27
2123	Lennox Head - Hydrochloric Acid Upgrade	50,000	30,000	13,000			43,000	0	0	Complete	Apr-25	Jun-26	
1028	Lennox Head - Aeration Optimisation	200,000	200,000		(200,000)		0	0	100	Uncertain	Uncertain	Uncertain	
1505	Lennox Head - Catch Pond Floor lining	50,000	50,000			(50,000)	0	0	100	Jun-26	Uncertain	Uncertain	Transfer to Reserve
2306	Lennox Head - Low Lift Pumps	150,000	200,000		(50,000)	(30,000)	120,000	85,500	71	Complete	Feb-26	Mar-26	Saving - Transfer to Reserve
2375	Lennox Head - UV Rectification	50,000	50,000				50,000	0	0	Complete	Apr-26	Jul-26	
2307	Lennox Head - Weir Board Optimisation	50,000	50,000		(50,000)		0	0	100	Uncertain	Uncertain	Uncertain	
2308	Lennox Head - Alum Plus Caustic Dosing	50,000	50,000		(50,000)		0	0	100	Uncertain	Uncertain	Uncertain	
2309	Lennox Head - Pall Upgrade	50,000	50,000		(50,000)		0	0	100	Uncertain	Uncertain	Uncertain	
2310	Lennox Head - Sludge Pontoon	100,000	100,000			(80,000)	20,000	700	4	Mar-26	Jun-26	Dec-26	Design Investigation in Progress. Defer Part to 2026-27
1032	Alstonville - Inlet Works	1,600,000	300,000	158,000		(308,000)	150,000	44,500	30	Complete	Complete	Complete	Works Complete - Saving - Transfer to Reserve
1033	Alstonville - Biosolids	200,000	100,000	20,000	(120,000)		0	0	100	Jun-26	Jul-26	Dec-26	
2124	Alstonville - WAS Pump Upgrade	150,000	0	150,000		(100,000)	50,000	6,500	13	Complete	Mar-26	Dec-26	Civil Design Complete - Defer Part to 2026/27
2125	Alstonville - Dosing Upgrade	850,000	200,000	50,000	(200,000)		50,000	2,900	6	Jun-26	Jan-27	Jun-27	
2311	Alstonville - Staff Facilities	1,300,000	200,000		(50,000)		150,000	20,100	13	Jun-26	Jan-27	Jun-27	
2313	Wardell - Low Lift Pump	400,000	100,000		(80,000)		20,000	0	0	Complete	Jul-26	Dec-26	
2314	Wardell - Grit Lift Blower	0	50,000		(50,000)		0	0	100	Complete	Complete	Complete	
2126	Wardell - Ultra Violet Replacement	400,000	300,000	30,000	(330,000)		0	0	100	Jun-26	Jul-26	Mar-27	
	<b>Sub Total - Treatment Plants</b>	<b>19,540,000</b>	<b>4,410,000</b>	<b>1,920,000</b>	<b>(2,944,000)</b>	<b>(1,753,000)</b>	<b>1,633,000</b>	<b>941,900</b>	<b>58</b>				
	<b>Total - Wastewater Operations</b>	<b>36,921,000</b>	<b>10,533,000</b>	<b>3,140,000</b>	<b>(2,967,000)</b>	<b>(3,925,000)</b>	<b>6,781,000</b>	<b>4,237,600</b>	<b>62%</b>				

Operational Plan Review													
Capital Expenditure - Engineering Works - 2025/26													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
											Commence	Complete	
<b>Urban Roads</b>													
807	Urban Roads Heavy Patching	689,000	689,000				689,000	478,300	69	N/A	On-going	On-going	
810	Alstonville Bypass	100,000	100,000				100,000	1,300	1	N/A	Apr-26	Jun-26	Asphalt and Line Marking - 4th Quarter
811	Ballina Bypass	180,000	180,000				180,000	39,300	22	N/A	Apr-26	Jun-26	Asphalt Repairs along Kerr Street
834	River St - 4 Lanes - Stage 3 - Fishery Creek	40,000,000	18,750,000	29,000	(8,529,000)		10,250,000	3,138,200	31	Complete	Jul-25	Apr-27	
836	Tamarind Drive Canal Bridge - 4 Lanes	40,000,000	22,535,000	(128,000)	(11,407,000)	(10,000)	10,990,000	3,100,900	28	Complete	Jul-25	Apr-27	Transfer to Evacuation Route Raising
838	North Creek Road and Bridge	90,000,000	200,000		(180,000)		20,000	0	0	Jun-26	Uncertain	Uncertain	Work complete until review of Road Network
1150	Hutley Drive, Lennox Head - Middle Section	350,000	350,000		(340,000)		10,000	20,300	203	Jun-26	Uncertain	Uncertain	Section 7.11 Project - Design and Approvals
1156	Reseals Urban	610,000	568,000	102,000	(60,000)	(150,000)	460,000	353,500	77	N/A	On-going	On-going	Defer to 2026/27 - Due to Price Increase
1438	Wardell Town Centre	1,676,000	0	283,000			283,000	244,600	86	Complete	Complete	Complete	
1521	Roads to Recovery	150,000	0	150,000			150,000	65,200	43	N/A	Jul-25	Jun-26	Two Guard Rails to be installed at Missingham Bridge
1969	Byron Street / Byron Bay Road - Roundabout	1,600,000	0	300,000			300,000	254,200	85	Complete	Complete	Complete	Australian Government Blackspot Funding
2007	Evacuation Route Raising	2,400,000	2,165,000	166,000	(2,301,000)	10,000	40,000	39,600	99	Complete	N/A	N/A	Northern Rivers Recovery and Resilience Grant - \$10,000 Canal Bridge
2064	North Ck Rd - Tamarind Drv to Sthn X - 4 Lanes	2,500,000	2,200,000	138,000	(2,328,000)		10,000	9,900	99	Complete	Uncertain	Uncertain	Section 7.11 Project
2067	Fox Street, Ballina segment 90	325,000	0	79,000	(50,000)		29,000	28,800	99	Complete	Complete	Complete	
2068	Helen Court, Ballina segment 10	105,000	0	6,000			6,000	6,200	103	Complete	Complete	Complete	
2070	Winton Lane, Ballina Segment 20	290,000	290,000				290,000	0	0	Complete	Apr-26	Jun-26	
2222	Landslip - The Coast Road - Lennox Point	3,000,000	2,000,000	66,000	(1,500,000)		566,000	59,100	10	Complete	May-26	Sep-26	EPAR
2247	North Creek Road, Ballina	130,000	120,000	10,000	(130,000)		0	0	100	Complete	N/A	N/A	
2248	Tamar Street, Ballina	40,000	30,000	10,000		(30,000)	10,000	1,200	12	Complete	Jul-26	Dec-26	EPAR - Defer part to 2026/27
2249	Owen Street, Ballina	185,000	0	10,000			10,000	9,500	95	Jun-26	Jul-26	Dec-26	EPAR
2250	Bagot Street, Ballina	297,000	287,000	10,000	(280,000)		17,000	8,600	51	Jun-26	Jul-26	Dec-26	EPAR
2332	Temple Street, Ballina Segment 10 and 20	678,000	678,000		(205,000)	(50,000)	423,000	9,300	2	Complete	Complete	Complete	Transfer to Empire Vale Road
2333	Preliminary Designs (2026/27 program)	150,000	150,000				150,000	39,800	27	Jun-26	On-going	On-going	
2334	Mary Street, Ballina Segment 10	215,000	215,000		(60,000)		155,000	13,100	8	Complete	Complete	Complete	
2335	Kalinga Street, Ballina Segment 30	776,000	776,000		(160,000)		616,000	16,900	3	Complete	May-26	May-26	Stabilisation Project
2337	Valley Drive, Alstonville Segment 30	170,000	170,000				170,000	11,900	7	Complete	May-26	May-26	Stabilisation Project
2365	Balina CBD - River St / Martin St Roundabout	1,310,000	470,000		(400,000)		70,000	7,100	10	Jun-26	Jun-26	Dec-26	
2366	Wardell CBD - To the River Stage	1,050,000	150,000		(100,000)		50,000	11,600	23	Jun-26	Jun-26	Dec-26	
2433	Sandpit Airport - Road Access	1,000,000	0		1,000,000		1,000,000	707,000	71	Complete	Jan-26	Jun-26	
<b>Sub Total</b>		<b>189,976,000</b>	<b>53,073,000</b>	<b>1,231,000</b>	<b>(27,030,000)</b>	<b>(230,000)</b>	<b>27,044,000</b>	<b>8,675,400</b>	<b>32</b>				
<b>Rural Roads</b>													
808	Reseals Rural	506,000	556,000		(50,000)		506,000	494,700	98	N/A	Complete	Complete	
809	Rural Roads Heavy Patching	540,000	430,000		110,000		540,000	539,100	100	N/A	Complete	Complete	
812	Tintenbar to Ewingsdale Highway Bypass	0	100,000		(100,000)		0	0	100	N/A	N/A	N/A	
1154	Reseals and Heavy Patching - Section 7.11	200,000	200,000				200,000	144,800	72	N/A	On-going	On-going	Section 7.11 Project
1883	Ross Lane - Betterment	3,800,000	2,900,000	96,000	(2,500,000)		496,000	198,100	40	Feb-26	Nov-26	Mar-27	
2014	River Bank Road segment 10-50	280,000	0	356,000	(76,000)	(20,000)	260,000	251,600	97	Complete	Complete	Complete	Regional Emergency Road Repair Fund (RERRF) - Trans to Humpty
2060	Hermans Lane segment 30	566,000	0	490,000	76,000	(50,000)	516,000	511,900	99	Complete	Complete	Complete	RERRF - Transfer to Empire Vale
2061	Humpty Back Road segment 20	263,000	0	343,000	(80,000)	20,000	283,000	58,600	21	Complete	Feb-26	Apr-26	RERRF - Transfer \$20,000 from River Bank Road
2062	Reedy Creek Road, Segment 10	281,000	300,000	(19,000)			281,000	11,900	4	Complete	Complete	Complete	Part of Stabilisation Tender Package
2063	Empire Vale Road segment 30	418,000	0	338,000	80,000	100,000	518,000	34,300	7	Complete	Complete	Complete	RERRF - Transfer \$50,000 from Hermans Lane and from Temple Street
2075	Pimlico Road segment 100	300,000	0		5,000		5,000	4,600	92	Complete	Complete	Complete	
2076	Houghlahans Creek Road segment 150	586,000	0	501,000	85,000		586,000	588,000	100	Complete	Complete	Complete	
2136	Teven Road segment 60	275,000	0	269,000		(210,000)	59,000	47,500	81	Complete	Mar-26	Jun-26	Defer construction to 2026/27
2180	Landslip - Tintenbar Road	29,000	0	29,000			29,000	300	1	Complete	Feb-26	Feb-26	EPAR
2181	Landslip - Sneaths Road	837,000	812,000	14,000	(500,000)	(260,000)	66,000	29,500	45	Complete	Jun-26	Dec-26	EPAR - Defer part to 2026/27
2182	Landslip - Marom Creek Road	733,000	232,000	24,000	(100,000)	(100,000)	56,000	32,300	58	Complete	Jun-26	Dec-26	EPAR - Defer part to 2026/27
2183	Landslip - Tamarind Drive	1,648,000	1,000,000	45,000	(600,000)	(350,000)	95,000	77,200	81	Complete	Jun-26	Dec-26	EPAR - Defer part to 2026/27
continued on following page													

Capital Expenditure - Engineering Works - 2024/25 (continued)													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent Complete	Construction		Status
											Commence	Complete	
<b>Rural Roads (continued)</b>													
2202	Landslip - Teven Road	7,450,000	80,000	45,000			125,000	113,300	91	Jun-26	Oct-26	Feb-27	EPAR
2203	Landslip - Duck Creek Mountain	66,000	0	66,000			66,000	11,700	18	Complete	Jun-26	Dec-26	EPAR
2204	Landslip - Towalbyn Place, Uralba	228,000	200,000	21,000			221,000	19,600	9	Jun-26	Jun-26	Dec-26	EPAR
2219	Landslip - Forest Road, Uralba	180,000	145,000	35,000		(140,000)	40,000	1,700	4	Jun-26	Jun-26	Dec-26	EPAR - Defer part to 2026/27
2220	Landslip - Hinterland Way	263,000	246,000	17,000	(200,000)		63,000	16,100	26	Complete	Complete	Complete	EPAR - Construction complete - Seeking approval to reallocate funds
2221	Landslip - Uralba Cutting	704,000	684,000	20,000	(650,000)		54,000	37,900	70	Jun-26	Sep-26	Dec-26	EPAR
2246	Safer Roads - Rifle Range road	592,000	562,000	19,000			581,000	6,500	1	Complete	Apr-26	Jun-26	Rifle Range Road and Pearces Creek Intersection
2330	Landslip - Old Byron Bay Road	400,000	400,000				400,000	12,100	3	Complete	Apr-26	Jun-26	
2331	Cumbalum Road - Rock Revetment Wall	200,000	200,000				200,000	15,200	8	Mar-26	Mar-26	May-26	
2339	The Coast Road, Segment 200	272,000	362,000		(90,000)	225,000	497,000	19,800	4	Mar-26	May-26	May-26	Transfer from Kirklands Lane and Regional Roads TfNSW
2340	Marom Creek Road, Segment 60	227,000	227,000				227,000	8,000	4	Complete	May-26	Jun-26	
2341	Dalwood Road, Segment 80	420,000	432,000		(420,000)		12,000	4,200	35	Jun-26	Deferred	Deferred	
2342	Kirklands Road, Segment 20	725,000	725,000			(125,000)	600,000	599,000	100	Complete	Complete	Complete	Transfer to The Coast Road
2343	Teven Road, Segments 50-52-54	286,000	286,000		(280,000)		6,000	200	3	Jun-26	Deferred	Deferred	
<b>Sub Total</b>		<b>23,275,000</b>	<b>11,079,000</b>	<b>2,709,000</b>	<b>(5,290,000)</b>	<b>(910,000)</b>	<b>7,588,000</b>	<b>3,889,700</b>	<b>51</b>				
<b>Dust Seal</b>													
1804	Cooks Lane	190,000	88,000	61,000	40,000		189,000	189,300	100	N/A	Complete	Complete	
2042	Behs Lane	140,000	0	95,000	45,000		140,000	140,200	100	N/A	Complete	Complete	MEMs projects
2260	Emigrant Creek	100,000	0		10,000		10,000	9,500	95	N/A	Complete	Complete	
2261	Perrys Lane	20,000	0	20,000	(10,000)		10,000	9,300	93	N/A	Complete	Complete	
2344	Carneys Lane	105,000	95,000		10,000		105,000	116,400	111	N/A	Complete	Complete	MEMs projects
2345	Owens Lane	95,000	95,000				95,000	106,400	112	N/A	Complete	Complete	MEMs projects
2346	Bartletts Lane	154,000	154,000		(70,000)		84,000	83,800	100	N/A	Complete	Complete	
<b>Sub Total</b>		<b>804,000</b>	<b>432,000</b>	<b>176,000</b>	<b>25,000</b>	<b>0</b>	<b>633,000</b>	<b>654,900</b>	<b>103</b>				
<b>Bridges</b>													
2184	Bridge Scour - Eltham Road	164,000	0	164,000			164,000	11,000	7	Complete	Apr-26	Jun-26	EPAR
1157	Bridges - Other	168,000	100,000	68,000			168,000	18,600	11	N/A	On-going	On-going	North Lakes Bridge
<b>Sub Total</b>		<b>332,000</b>	<b>100,000</b>	<b>232,000</b>	<b>0</b>	<b>0</b>	<b>332,000</b>	<b>29,600</b>	<b>9</b>				
<b>Total - Roads and Bridges</b>		<b>214,387,000</b>	<b>64,684,000</b>	<b>4,348,000</b>	<b>(32,295,000)</b>	<b>(1,140,000)</b>	<b>35,597,000</b>	<b>13,249,600</b>	<b>37</b>				
<b>Footpaths and Shared Paths</b>													
1458	Ross Lane / Byron Bay Road - Design	45,000	0			10,000	10,000	8,400	84	N/A	N/A	N/A	Transfer from Footpaths Internal Reserve
1460	Camoola Avenue, Ballina	35,000	0	12,000			12,000	0	0	Complete	Uncertain	Uncertain	Adjoining Kerb and Gutter and Road Edge to be Investigated
1775	Fig Tree Hill, Ross Lane	170,000		17,000			17,000	17,800	105	Complete	Complete	Complete	
1810	Westland Drive, Ballina	95,000	95,000				95,000	0	0	Complete	May-26	Jun-26	External Delivery
2082	Stewart Street, Lennox Head	114,000	0	96,000	18,000		114,000	117,900	103	Complete	Complete	Complete	
2084	Horizon Drive, Ballina	81,000	0	47,000	22,000		69,000	73,000	106	Complete	Complete	Complete	
2280	Lennox Head - Byron Street to Cooper Close	2,100,000	3,547,000	10,000	(1,500,000)		2,057,000	1,424,400	69	Complete	Oct-25	May-26	
2349	Teven Road, Alstonville	135,000	135,000				135,000	17,600	13	Complete	May-26	Jun-26	Construction following completion of Byron Street Shared Path
2350	Footpaths and Shared Paths - Renewals	290,000	330,000		(40,000)		290,000	57,700	20	N/A	Aug-25	Jun-26	Asphalt repairs commencing April
<b>Sub Total</b>		<b>3,065,000</b>	<b>4,107,000</b>	<b>182,000</b>	<b>(1,500,000)</b>	<b>10,000</b>	<b>2,799,000</b>	<b>1,716,800</b>	<b>61</b>				
<i>continued on following page</i>													

Capital Expenditure - Engineering Works - 2025/26 (continued)													
31-March-2026													
Reference	Project Description	Project Value	Original 2025/26 Estimate	Carry Forwards	Approved Variations	New Variations	2025/26 Estimate	Expended This Year	% Expended	Design / Consent	Construction		Status
<b>Bus Shelters and Car Parks</b>													
2047	Ancillary - Parklet	25,000	0	23,000			23,000	25,300	110	Complete	Complete	Complete	
2320	Roundabout - North Creek Road - Retaining Wall	25,000	25,000			(25,000)	0	0	100	Complete	Jul-26	Dec-26	Quotations above budget - Defer to 2026/27
2077	Car Park - Meldrum Park	100,000	0	44,000			44,000	56,700	129	Complete	Complete	Complete	
2078	Car Park - Pop Denison	530,000	530,000				530,000	0	0	Complete	Apr-26	May-26	
2321	Car Park - Pat Morton	900,000	900,000			(880,000)	20,000	1,100	6	Jun-26	Jul-26	Dec-26	Defer to 2026/27
<i>Car Park - Minor Improvement Program</i>													
1816	Pat Morton - Line Marking	3,000	3,000				3,000	0	0	N/A	Apr-26	Jun-26	Align with Pat Morton Car Park Reconstruction
1817	Flat Rock - Line Marking	2,000	2,000				2,000	0	0	N/A	Feb-26	Mar-26	
1818	King Street - Line Marking	4,000	4,000				4,000	0	0	N/A	Feb-26	Mar-26	
1819	Alstonville Pre School - Lighting	36,000	12,000		24,000		36,000	0	0	Complete	May-26	Jun-26	
1820	Wollongbar Pre School - Lighting	27,000	7,000		20,000		27,000	0	0	Complete	May-26	Jun-26	
1821	Marine Rescue - Lighting	7,000	7,000				7,000	0	0	Complete	May-26	Jun-26	
1822	Improvements - Ballina Skate Park - Lighting	0	20,000		(20,000)		0	0	100	N/A	N/A	N/A	
1823	Ross Street - Lighting	0	24,000		(24,000)		0	0	100	N/A	N/A	N/A	
2348	Shelly Beach - Lighting	25,000	25,000				25,000	0	0	Complete	May-26	Jun-26	
	<i>Sub Total - Minor Improvements</i>	<i>104,000</i>	<i>104,000</i>	<i>0</i>	<i>0</i>	<i>0</i>	<i>104,000</i>	<i>0</i>	<i>0</i>				
<b>Sub Total - Bus Shelters and Car Parks</b>		<b>1,684,000</b>	<b>1,559,000</b>	<b>67,000</b>	<b>0</b>	<b>(905,000)</b>	<b>721,000</b>	<b>83,100</b>	<b>12</b>				
<b>Total - Ancillary Transport Services</b>		<b>4,749,000</b>	<b>5,666,000</b>	<b>249,000</b>	<b>(1,500,000)</b>	<b>(895,000)</b>	<b>3,520,000</b>	<b>1,799,900</b>	<b>51</b>				
<b>Water Transport</b>													
2440	Ferry Gates	242,000			242,000		242,000	242,400	100	Complete	Complete	Complete	
2416	Brunswick Street Small Craft Facilities	100,000			20,000		20,000	0	0	Jun-26	Jan-27	Mar-28	
<b>Sub Total</b>		<b>342,000</b>	<b>0</b>	<b>0</b>	<b>262,000</b>	<b>0</b>	<b>262,000</b>	<b>242,400</b>	<b>0</b>				
<b>Stormwater</b>													
779	Urban Lanes	110,000	75,000	35,000	(100,000)		10,000	2,900	29	N/A	On-going	On-going	
780	Kerr Street (Tamar to Richmond River), Ballina	210,000	210,000		(100,000)	(110,000)	0	200	100	Complete	Aug-26	Dec-26	Defer to 2026/27
782	Asset Data Collection	72,000	25,000				25,000	20,700	83	N/A	On-going	On-going	
783	Tidal Gates to Urban Streets	248,000	185,000	63,000		(140,000)	108,000	0	0	Complete	May-26	Aug-26	Defer to 2026/27
789	Martin Street, Ballina	150,000	108,000		40,000	(110,000)	38,000	38,400	101	Complete	Aug-26	Dec-26	Defer to 2026/27
791	Ballina Fair, Ballina	190,000	0	20,000	(20,000)		0	0	100	Complete	Complete	Complete	
793	Grant Street, Ballina	185,000	185,000				185,000	0	0	Apr-26	Aug-26	Dec-26	
795	Lems Lane and Cliff Murray Lane, Lennox Head	148,000	0	78,000	70,000		148,000	4,600	3	Complete	Apr-26	Jun-26	
1293	Flood Recovery - Lindsay Crescent, Wardell	381,000	0	20,000		(20,000)	0	0	100	Complete	Complete	Complete	Transfer to Mellis Circuit
1686	Greenfield Dve, Tallow Wood Pl, Lennox Head	230,000	190,000	40,000		(220,000)	10,000	0	0	Jun-26	Aug-26	Dec-26	Defer to 2026/27
1785	Park Lane and Ballina Street, Lennox Head	130,000	130,000		(130,000)		0	0	100	N/A	N/A	N/A	
1786	Williams Reserve, Lennox Head	19,000	0	19,000	(19,000)		0	0	100	N/A	N/A	N/A	
1974	Flood Recovery - Coral Street, Alstonville	80,000	40,000	13,000	20,000		73,000	87,800	120	Complete	Complete	Complete	
1975	Flood Recovery - Rossmore Park, Alstonville	112,000	50,000	38,000		(86,000)	2,000	300	15	Jun-26	Aug-26	Dec-26	Defer to 2026/27
1976	Flood Recovery - West Ballina	443,000	300,000	26,000	117,000		443,000	10,300	2	Complete	May-26	Aug-26	
1977	Flood Recovery - Mellis Circuit, Alstonville	270,000	240,000	9,000		20,000	269,000	61,500	23	Complete	May-26	Aug-26	Transfer from Lindsay Crescent
1978	Flood Recovery - Kawana Street, Alstonville	120,000	90,000	28,000			118,000	300	0	Nov-25	May-26	Aug-26	
2286	Owen Street, Ballina	86,000	0	64,000	22,000		86,000	102,100	119	Complete	Complete	Complete	
2329	Daintree Detention Basin, Lennox Head	25,000	25,000				25,000	0	0	Jun-26	Uncertain	Uncertain	Design
2364	Rutherford Street, Lennox Head	50,000	50,000			(50,000)	0	0	100	Jun-26	Uncertain	Uncertain	Dependent on Lennox Head Overland Flow Study - Transfer to Reserve
2385	Lems Lane, Lennox Head	107,000	77,000		30,000		107,000	0	0	Complete	May-26	Aug-26	
2412	Deadmans Creek Road Culvert	70,000	0		70,000		70,000	73,800	105	Complete	Complete	Complete	
<b>Sub Total</b>		<b>3,436,000</b>	<b>1,980,000</b>	<b>453,000</b>	<b>0</b>	<b>(716,000)</b>	<b>1,717,000</b>	<b>402,900</b>	<b>23</b>				
<b>Transport for NSW (TfNSW)</b>													
751	Regional Roads Reseals	216,000	296,000			(100,000)	196,000	186,400	95	N/A	On-going	On-going	Transfer to The Coast Road Rural Roads Reconstruction
<b>Sub Total</b>		<b>216,000</b>	<b>296,000</b>	<b>0</b>	<b>0</b>	<b>(100,000)</b>	<b>196,000</b>	<b>186,400</b>	<b>95</b>				
<b>Total - Engineering Works</b>		<b>223,130,000</b>	<b>72,626,000</b>	<b>5,050,000</b>	<b>(33,533,000)</b>	<b>(2,851,000)</b>	<b>41,292,000</b>	<b>15,881,200</b>	<b>38%</b>				









**Delivery Program and Operational Plan  
Program Actions  
31 March 2026 Review**


**Corporate and Community Division**

**Airport and Commercial Services**


Code	Program Action	Comments	On Target?
LP1.2a	Progress development of Wollongbar Residential Land Holding	Six lots sold in previous quarter, and a further two sold in the third quarter for 2025/26. Lots are on the market for sale by private treaty. Housing project cancelled.	
LP1.2b	Progress development of Lennox Head Residential Land Holding - Investigate the feasibility of medium density	Preferred zoning approach report presented to 13 April 2026 Finance and Facilities Committee meeting. Capital budget allocated in draft long term financial plan from 2026/27 and future years to commence planning this project.	

**Communications and Customer Service**




Code	Program Action	Comments	On Target?
CC2.1a	Support Council initiated volunteer programs	Continued support for Council volunteer programs was delivered through weekly communications, induction of two new volunteers, and ongoing coordination of Visitor Information Centre and ambassador activities.  A familiarisation tour of the Southern Cross Industrial Estate was well received, providing a valuable development opportunity and strengthening volunteers' local knowledge and connection to the business community.  An audit and report on the volunteer program and future priorities was also completed to support ongoing improvement. Volunteers contributed 816 hours this quarter, supporting visitor servicing and community engagement.	
LP2.1a	Participate in and leverage opportunities to market the Ballina Coast and Hinterland	Marketing activity continued across owned and earned channels, this quarter. Activity was supported by the launch of the new Visitor Guide, ongoing development of the destination website and Industry Portal, Community Connect tourism content, refreshed in-house collateral, promotion of the Public Art Trail, and continued visitor servicing through conference and event support.  Digital performance remained strong, with the Discover Ballina website recording 33,119 sessions, Facebook reaching 73,733 users, and Instagram reaching 215,946 users this quarter. The Visitor Information Centre recorded 9,081 visitors and 662 enquiries.	

Code	Program Action	Comments	On Target?
LP2.2a	Implement Economic Development Strategy and Destination Management Plan	<p><i>Economic Development:</i> (C1, C2, A10, D1 and aligned strategy initiatives).</p> <ul style="list-style-type: none"> <li>- Initial phases of economic development and visitor economy strategy drafting were completed, with internal consultation finalised and stakeholder engagement commenced.</li> <li>- Continued database clean-up improved the quality of business records and communications, with 95 registered business engagements recorded during the quarter.</li> <li>-</li> </ul> <p><i>Destination Management:</i></p> <ul style="list-style-type: none"> <li>- Completion and launch of the new Visitor Guide with 47 advertisers and 40,000 copies printed.</li> <li>- Completion of the Northern Rivers Visitor Guide project in partnership with the Tourism Managers Group.</li> <li>- Continued development of the Industry Portal.</li> <li>- Continued support for conference and event activity including 250+ conference packs.</li> <li>- Creation and distribution of the school holiday activity sheet.</li> <li>- Rebranding and recreation of in house guides.</li> <li>- Continued Public Art Trail development including print collateral.</li> <li>- Completion of the NSW Top Tourism Town submission.</li> <li>- Completion of a grant application to upgrade a new beach wheelchair, supporting accessible tourism outcomes.</li> </ul>	





**Financial Services**

Code	Program Action	Comments	On Target?
EL2.1d	Pursue financial sustainability	Following Council formally resolving to apply to IPART for the SRV, the application to IPART was lodged early February 2026. The LTFP which includes the proposed future SRV, forecasts the General Fund to reach a break-even operating result in 2029/30.	



**Governance**

Code	Program Action	Comments	On Target?
CC1.2b	Complete Emergency Evacuation Exercises	Work Health and Safety have a register of all Emergency and Evacuation Plans for Council facilities. The register identifies when each plan was last reviewed, and when it is next due for review. It identifies the evacuation exercises were completed last at Council facilities and the period for the next evacuation drill. Emergency Evacuation Drill Observer Reports for evacuation exercises across various Council facilities.	
CC1.2c	Ensure Business Continuity Plans are contemporary	Business Continuity and Disaster Recovery Planning internal audit report presented by Grant Thornton to March 2026 ARIC meeting. Audit recommendations also considered at March 2026 Business Continuity Taskforce meeting. Actions from each recommendation have been tasked to relevant staff. One action is to look at Business Impact Assessments (BIAs) for all operations that are not currently rated as catastrophic and consider inserting a Recovery Time Objective (RTO) and Recovery Point Objective (RPO) for each. Coordinator Risk Management has updated the template, and the new template format will be tasked to relevant managers to consider the RTO and RPO for their operations covered by the BIA. There are many BIAs so this process will take some time to complete.	
EL1.3a	Integrate social, economic, and environmental considerations into Council's operations	Major projects include consideration of environmental matters, such as through the Review of Environmental Factors (REF) or Conservation Risk Assessment (CRA) process. REFs and CRAs include comprehensive consideration of environmental factors for Council projects.	




8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
EL2.3d	Implement Risk Management Framework	Council's Risk Management Framework reported to ARIC in December 2025.	
EL2.3e	Implement pro-active internal audit program	Business Continuity and Disaster Recovery Planning internal audit report presented by Grant Thornton to March 2026 ARIC meeting. Audit recommendations also considered at March 2026 Business Continuity Taskforce meeting.  Actions from each recommendation have been tasked to relevant staff. The next internal audit report will be on Asset Management Maturity of Water and Wastewater Assets.	
EL3.1a	Approach State and Federal Governments on local issues	Department of Planning, Housing and Infrastructure – Submission to Discussion Paper: A new approach to strategic planning. Letter to The Hon. John Graham MLC, Minister for the Arts – Create NSW reduction in funding. Letter to The Hon. Rose Jackson MLC, Minister for Water – Improving the health of the Richmond River. Letter to The Hon. Catherine King MP, Minister for Infrastructure, Transport, Regional Development and Local Government – Request for establishment of a National Coastal Hazards Adaptation Strategy. Letter to The Hon. Ron Hoenig MP, Minister for Local Government – Feedback on the refresh of the Joint Organisations framework for regional councils.	
EL3.2a	Promote regional initiatives with representative organisations	Mayor, Councillors and staff involved in various groups and representative organisations promoting regional initiatives, examples including Northern Rivers Joint Organisation (NRJO), NRJO Planners Group, Northern Rivers Risk Management Group, Local Government NSW Annual Conference, Waterways Advisory Group, Regional Emergency Management Committee, Far North Coast Bush Fire Management Committee and Rous County Council Regional Liaison Committee.	

**Information Services**




Code	Program Action	Comments	On Target?
EL2.2a	Continuous improvement of Council's cyber security	Additional security measures include stricter controls on remote access and enforced password requirements for individuals who have not yet met Council's minimum cyber training standards.	
LP3.2c	Progress availability of land at the Russellton Industrial Estate	Council resolved to auction Lots 19, 21, 22, 23, 24, 25 and 26 in DP 1321815 in March 2026, with six of the seven lots sold at auction.	

**People and Culture**






Code	Program Action	Comments	On Target?
CC2.2a	Implement Equal Employment Opportunity Management Plan	Highlights for this quarter include: - hosting the regional Career Advisors Network meeting, reviewing employee commencement form and email signatures to include a non-binary option and pronouns, delivery of safe and respectful workplaces training to staff groups, harmony day promotion during staff BBQ events, support for six employees to attend an International Women's Day event in Ballina and Careers at Council blog story for the first fresh start graduate in NSW	
CC3.2f	Implement NSW Child Safe Standards across Council	Highlights for this quarter include: - child safe training being progressively delivered to all staff, review of child safe updates for local Councils from the Office of the Children's Guardian, education around the reportable conduct scheme, review of LGNSW submission to the working with children check review and child protection (working with children) Act 2012 and attendance at webinar with the Acting Children's Guardian	
EL2.2f	Implement strategies that increase female participation in the workforce	Highlights for this quarter include: - continuing involvement as a key stakeholder in the development of the Women in Civil Construction Pre-Employment Pathway Program, which has provided funding for 14 local women to complete a Certificate II in Civil Construction, including several First Nations women, Council profiles pictures of female workers in advertising for apprentices/trainees.	

**Planning and Environmental Health Division**





**Development Services**

Code	Program Action	Comments	On Target?
CC1.1a	Implement State Government Pool Barrier Inspection Program	102 or 86% of mandatory pools on Council's pool register have a current compliance certificate.	
CC1.3d	Implement Fire Safety Certificate compliance program	495 or 72% of premises on the register have a current compliant Annual Fire Safety Statement.	
LP3.3i	Implement Independent Report on the Development Assessment Process Review	Actions arising from the independent report have commenced and are implemented in accordance with the Operational Plan.	


**Open Spaces**

Code	Program Action	Comments	On Target?
CC2.2d	Assess accessible entrance options for Seven Mile Beach	Draft review into coastal hazards recently received and is being assessed to inform the next stage of this project.	
CC3.2c	Implement the Sport and Recreation Plan	Works completed at Wardell to improve the surface of Walsh Park for informal usage. Negotiations are continuing on the Wollongbar Sporting Fields remediation project.	
CC3.2e	Implement Playground Upgrade and Management Plan (PUMP)	Procurement finalised for Meldrum Park, currently awaiting delivery and installation, scheduled within the fourth quarter of 2025/26.	
CC3.3o	Investigate feasibility of second croquet court at Gap Road, Alstonville	Preliminary design works following stakeholder consultation have identified that a second croquet court is not suitable for construction at the existing location due to space constraints. Progressing a broader master plan of the Gap Road facility to identify suitable locations for an expanded croquet facility as well as consideration for other sporting needs.	
EL1.2c	Prepare management plan for Lumley Park (consider inclusion of skate park)	Stakeholder meeting held with representatives of Alstonville Tennis Club, as key existing sporting stakeholder, with feedback incorporated into the plan development.	




8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
HE1.3a	Implement a proactive street tree planting program	Planned street tree program progressing, with 50% of planned infill, replacement and resident requested works completed. Installation and watering continue to be balanced with urgent and risk-based tree works.	
HE1.3b	Support Local Environmental Groups	Support continued through existing policies, including insurance assistance. Next stakeholder meeting scheduled for May 2026.	
HE3.1i	Update Vegetation Management Plan (VMP) for Tosha Falls	In addition to the plan being updated as part of Alstonville Reserves VMP, staff are currently developing immediate works through additional at Tosha Falls funded through the Regional Watershed Initiative.	
LP1.3g	New Niche Wall at East Ballina	Scope of works finalised to enable procurement and further consideration of funding priorities	





**Public and Environment Health**

Code	Program Action	Comments	On Target?
CC1.1b	Implement Companion Animals Management Plan	<p>Companion Animal Management Plan is now under review, and it is planned to be reported to Council in May 2026 and then placed on public exhibition. Given the number of complaints, comments, feedback and requests recently, particularly relating to dogs in the Shire, the public exhibition is expected to be a hot topic within the community and with a large number of submissions to Council for consideration.</p> <p>Companion animal related matters for the quarter are as follows:            Dog - Attack / Behaviour - 22            Dog - Barking - 31            Dog - Collections - 35            Dog - Defecation - 1            Dog - Roaming - 58            Dog - Nuisance - 2            Dog - Dangerous -2            Dog - Menacing - 1            Cat - Nuisance - 3</p> <p>76 fines were issued in relation to companion animals totally \$36, 830.</p>	


8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
CC1.1i	Ensure all food premises are regularly inspected	106 inspections completed last quarter, bringing the total to 211 (72.5% completed) premises inspected of the 291 premises required to be audited for 2025/26. The recent successful recruitment of health officers has enabled this program to now be resourced and given a high priority.	
CC1.3c	Implement a responsive compliance program	<p>Significant process improvement has occurred in this program. A new CRM guideline and new case studies have been developed, along with regular Team meetings, improved processes, templates and factsheets.</p> <p>The outstanding customer requests are at their lowest because of the new process and communications with the public. Staff training and mentoring has been a key focus to ensure compliance work is undertaken to the highest level to get the best outcomes for customers, the community and the environment.</p> <p>For this quarter, there were 51 new customer requests, quite a significant increase in recent months, relating to illegal works, not complying with development consent and failing to obtain relevant consents. There are also several notices and orders active relating to matters of non-compliance.</p>	
CC1.3g	Implement Proactive Parking Program	<p>Parking patrols continue to be conducted by licence plate recognition (Aero Ranger) and routine patrols including foot patrols. The use of smart technology has improved coverage in the Shire. The Fines Amendment (Parking Fines) Act 2024 commenced 1 July 2025, and Council is implementing measures to ensure compliance with requirements of the amendments. Council website was updated to reflect changes to legislation and requirement to place a notification on a vehicle if a fine is to be issued after the fact. Reporting statistics as per Act are also now available on website regarding number of fines and notifications and compliance with Act errors.</p> <p>73 general parking and 93 unattended vehicles on public land customer requests/complaints received during the quarter, along with routine parking patrols, resulting in 598 fines with a combined value of \$126,241. Other offences, such as illegal camping and illegal land use, resulted in 11 fines with a combined value of \$8,140.</p> <p>In total, 685 fines were issued by the Ranger team last quarter, with a total value of \$171,211 across a range of non-compliance.</p>	






8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
CC2.1b	Invite State agencies and non-government providers to a round table discussion on homelessness in Ballina Shire	A successful round-table discussion was held on Thursday 21 August 2025. Participants from all key stakeholders were present. Actions arising from discussions being implemented.	
CC2.1c	Approach State agencies and local service providers in the delivery of an assertive outreach program, funding opportunities, and coordinated action on homelessness in Ballina Shire.	Council officers have now been trained and form part of the local Northern Rivers Zero Project. Collaborating on several regional meeting and actions. Communication and checking in with known homelessness people occurring on a weekly basis by Rangers and Council still working with the Assertive Outreach Team to relocation people to temporary accommodation where suitable. Council launched a social media post and ad for the Community Connect to promote Orange Sky and being a volunteer. Unfortunately, this has not resulted in Orange Sky being able to expand their services in the Shire. A community services directory and action plan is being developed, and a pet directory is soon to be launched.	
HE1.1a	Implement the Coastline Management Plan Ballina	Nearing completion and on track for budget and quality. The planned completion date has been extended by two months to mid-August while some technical details are worked through between Council's Flood team, DCCEEW Coast and Flood programs and the Project Consultants. The tender preparation for Stages 3 and 4 is nearly complete and the intention is to commence Stage 3 in August. The internal Coast and Estuary Working Group (meeting quarterly) was established in August 2025, and participants are fully engaged and supporting the CMP development.	
HE1.1d	Implement a Climate Change Action Plan	<p>The Climate Change Policy was recently reviewed and reported to the February 2026 Ordinary Council Meeting and has been placed on public exhibition.</p> <p>Council, alongside other Northern Rivers councils, presented Climate Change Actions at the Joint Organisation Net Zero Acceleration Project (JONZA).</p> <p>The Climate Change Action Group completed installation of monitoring meters on solar sites which provides live generation data, energy efficiency and continuous improvements for wastewater treatment plants is ongoing, and a solar system upgrade for Ballina Wastewater Treatment Plant is scheduled for the next quarter.</p> <p>Investigation into the Animal Shelter as a new solar installation site including battery to commence.</p>	


8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
HE1.2a	Implement Healthy Waterways Strategy	<p>Ballina Coast and Estuary CMP - Stage 2 - The planned completion date has been extended by 2 months to mid-August while some technical details are worked through between Council's Flood team, DCCEEW Coast and Flood programs and the Project Consultants.</p> <p>The tender preparation for Stages 3 and 4 is nearly complete and the intention is to commence Stage 3 in August. The scope of the North Creek CMP will be incorporated into the Ballina Coast and Estuary CMP.</p> <p>Ongoing Health Waterways Program Initiatives include:</p> <ul style="list-style-type: none"> <li>- The Small Grants program for private landholders (approved by Council in Sept 2025) is under development, with a launch date planned for early July 2026.</li> <li>- Riparian restoration projects continue with a focus on lower Maguires and Emigrant Creeks. Work has commenced on a new restoration site at The Spit in partnership with Tuckombil Landcare and Open Spaces.</li> <li>- The program continues to work with State Government agencies regarding pathways for the acquisition and restoration of parts of the Tuckean Swamp.</li> <li>- The Teven Reserve is soon to have an Aboriginal Cultural Heritage Assessment is nearly complete, including applying for an AHIP. A new REF will be prepared to cover approval processes for the remaining works.</li> <li>- The Waterways Advisory Group had a successful meeting in February 2026, including presentations on water quality management in Lake Ainsworth and water quality monitoring in the Richmond River.</li> <li>- Design details and approval process underway for works and improvements to Prospect Lake and Chickiba Lake.</li> <li>- Shaws Bay CMP - Concept design details for the western foreshore and pathway to be finalised and consultation to commence shortly, Planning approval and design for maintenance works for east arm commenced.</li> <li>- North Rivers Watershed Initiative works are in on track. There are five sites in total, Clondale Park, Upper Maguires Creek (near Bulwinkle Park), a private property in Teven, Teven Memorial Park and Tosha Falls.</li> </ul>	





8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
HE1.2b	Implement Shaws Bay Coastal Management Plan	Stage 1 scoping study was completed in 2023. Going forward, the scope of the Shaws Bay CMP will be incorporated into the Ballina Coast and Estuary CMP.	
HE1.2c	Implement Lake Ainsworth Coastal Management Plan	Significant works have occurred at the lake with 14 of the 28 actions fully implemented and another four in progress, including an exciting partnership project with Jali LALC and the Aboriginal community to acknowledge Aboriginal culture and heritage at the Lake. The Program was certified in 2021 and has a 10-year implementation phase, so we are well on track for full implementation over the 10 years.	
HE1.2d	Complete and Implement North Creek Coastal Management Plan	Due to delays with the North Creek CMP and information now known about the priorities of various sub-catchments within the Richmond River Catchment regarding water quality, in December 2025 Council sought a variation to the DCCEEW grant to close out the North Creek CMP.  This variation has now been approved, and works have commenced on finalising reports for all water quality monitoring completed in North Creek and an erosion analysis of North Creek catchment and the lower Richmond River. Going forward, the scope of the North Creek CMP will be incorporated into the Ballina Coast and Estuary CMP.	
HE3.1e	Pursue design of sand levee and access improvements at Seven Mile Beach	This project is currently on hold until the hazard and coastal risk assessment is completed as part of the Coast and Estuary CMP, which Council has now received the stage 2 studies to review.	
HE3.1j	Implement Illegal Dumping Strategy	The Illegal Dumping and Litter Prevention Policy continues to be implemented with an increased focus on litter prevention due to a successful NSW EPA litter prevention grant that has now been completed. A further STREAM 3 grant has been submitted and Council awaits advice on outcome. Illegal dumping continues to be a focus with statistics tracked and hot spots targeted with intervention measures on a case-by-case basis.  69 reports of illegal dumping on public land reported to Council during the last quarter.	









## 8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
HE3.2n	Monitor Seven Mile Beach 4WD usage	Weekly monitoring of surveillance camera footage conducted and 2,330 vehicles accessing the site in this quarter and 516 new permits issued (412 x 6 month permits and 104 x yearly - 12 month permits). Overall, there was only a 7.68% non-compliance rate (179 vehicles without permits). With a total 1,496 permits issued to date this financial year.	









### Strategic Planning

Code	Program Action	Comments	On Target?
CC1.3h	Prepare Place and Public Realm Strategy	The project team are working through the project plan for phase two of the design strategy. A key component informing this phase will be the Roads and Active Transport Network Plan, work on which is set to commence in quarter four of this financial year and a planned completion in quarter three of the 2026/27 financial year.	
CC2.1a	Support Council initiated volunteer programs	Continued support for Council initiated volunteer programs through weekly volunteer communications, induction of two new volunteers, and ongoing coordination of Visitor Information Centre and ambassador activities.  A familiarisation tour of the Ballina Industrial Estate was also planned and well received, providing a valuable volunteer development opportunity while strengthening local knowledge and connection to the broader business community.  An audit and report on the volunteer program and future priorities were also finalised to support ongoing program improvement. Volunteers contributed 816 hours across the quarter, supporting visitor servicing and engagement.	
CC2.2b	Implement Disability Inclusion Action Plan	The Sharpes Beach car park improvements, including new accessible toilets and access improvements, were completed and became operational in February 2026. Council is required to update its Disability Inclusion Action Plan (DIAP) by 1 July 2026. A draft DIAP will be reported to the April Ordinary meeting to seek endorsement for public exhibition.	
CC2.2c	Develop an Aboriginal partnership agreement	The Partnership Agreement was endorsed by Council at the October 2025 Ordinary meeting and formalised by Council and Jali Local Aboriginal Land Council on 1 December 2025.	









## 8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
CC2.3a	Implement the Northern Rivers Community Gallery Creative Action Plan	Delivery of the NRCG Creative Action Plan included: publication of the 2026 Annual Program and 2025 Annual Report; strong gallery visitation (~3,500 visitors/participants); launch of Ignite Ceramics with free memberships and a new throwing studio; staff professional development in audience engagement; and contractor engaged to develop a new NRCG website.	
CC3.1a	Implement Active Ageing Plan	The Sharpes Beach car park upgrade was completed and became operational in February 2026. The upgrade includes new accessible toilets and improvements to general access which benefits older residents. The Seniors Week Luncheon, which was sponsored by Council, was held at the Ballina RSL Club on 12 March 2026 with a large turnout of 254 participants.	
CC3.2a	Conduct Annual Youth Forum	The 2026 Youth Forum event is a two-day workshop scheduled for 22 and 23 April during Youth Week 2026. The workshop will see students from local high schools invent ideas and solutions to issues that are most important to them and offer them an opportunity to pitch their ideas to invited local community businesses and organisations.	
CC3.2b	Investigate potential Youth Centre Facility options	A report on Youth Centre location options was presented at Council's November ordinary meeting where Council resolved to proceed to prepare a master plan for Treelands Reserve and the Kentwell Centre with a youth services focus. Further consideration of options for youth services and facilities will be undertaken through this master planning process.	
EL1.2a	Prepare management plan for Serpentine/Pioneer Park/Shaws Bay	Heritage studies and a Heritage Conservation Management Plan for the precinct are expected to be completed in early April 2026.	
EL1.2b	Prepare a management plan for Spoonbill Reserve	Council resolved, at the 26 February 2026 Ordinary meeting to publicly exhibit the Draft Spoonbill Reserve Master Plan. The draft master plan is on public exhibition from Monday 9 March to Wednesday 8 April 2026.	
HE3.1a	Develop a Master Plan for Treelands Reserve and the Kentwell Centre	Preparation of the master plan has progressed alongside investigations into administration and governance models for the precinct, with a specific focus on delivering youth services. A report will be presented back to Council in Quarter 1 of the next financial year.	
HE3.1b	Implement Wollongbar Strategic Plan - Rezone 5 Smiths Lane to medium density	Finalisation of the amendment has been arranged with the NSW Parliamentary Counsel and Council is awaiting the making of the plan.	





## 8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
HE3.1c	Implement Wardell Strategic Plan	Construction designs are nearing completion for the waterfront trail proposed within the Wardell Village Centre Revitalisation Plan. Interpretive signage identifying points of interest will be included as part of the design.	
HE3.1d	Implement Alstonville Strategic Plan - Investigate height increase for town centre	Finalisation of the amendment has been arranged with the NSW Parliamentary Counsel and Council is awaiting the making of the plan.	
HE3.1f	Implement Lennox Head Strategic Plan - Progress strategic Urban Growth Area at Ross Lane	No communications have occurred with the landowners this quarter however discussions are ongoing.	
HE3.1g	Implement Lennox Head Strategic Plan - Investigate minimum dwelling numbers for medium density sites	The draft DCP amendment to ensure no net loss of dwellings and an increase in density for lots proposed for consolidation on medium density zoned sites in Lennox Head Village was exhibited from 29 September to 8 November 2025. The outcomes of the exhibition were reported to Council's November 2025 Ordinary meeting where Council resolved to adopt the amendment.	
HE3.1h	Review local Strategic Planning Statement to incorporate updated Local Growth Management Strategy	Council considered the outcomes of the exhibition of the draft LSPPS at its March 2026 Ordinary meeting and resolved to adopt it subject to several amendments and a requirement to provide a further report to the April 2026 Ordinary meeting to consider the inclusion of three Strategic Urban Growth Areas, before finalisation of the LSPPS.	
HE3.2h	Implement Biodiversity Strategy	The Biodiversity DCP chapter was endorsed for public exhibition at Council's March Ordinary meeting and will be exhibited from 7 April to 4 May 2026. A report on the outcomes of the exhibition will be presented to Council in Quarter 1 of next financial year.	
HE3.2i	Update Vegetation Mapping against State Government classifications	The Stage 2 report and mapping have been completed by the consultant and staff have submitted to DCCEEW for review as required under the funding agreement. Once DCCEEW's review is completed, the mapping will be uploaded to Council's GIS. A Councillor bulletin will be prepared with detail on the outcomes of the project.	
HE3.2j	Review Biodiversity Controls in the Development Control Plan	The Biodiversity DCP chapter was endorsed for public exhibition at Council's March Ordinary meeting and will be exhibited from 7 April to 4 May 2026. A report on the outcomes of the exhibition will be presented to Council in Quarter 1 of next financial year.	

## 8.8 Delivery Program and Operational Plan - 31 March 2026 Review


Code	Program Action	Comments	On Target?
HE3.2k	Identify and map Koala habitat	This project is now anticipated to commence in quarter four of this financial year.	
HE3.2l	Develop guidelines for Groundwater and Hydrological Monitoring Reports required for development proposals	A Request For Quote to engage a suitably qualified consultant has been drafted and will be released in quarter four of this financial year.	
HE3.2m	Review Koala Management Strategy	The review has commenced, and staff have joined a working group of regional councils in NSW that are also reviewing their Koala Management Strategies to share knowledge and support the review process.	
LP1.1a	Implement Housing Strategy including local affordable housing framework	The Hutley Drive Feasibility Study will be reported to Council's 13 April 2026 Finance and Facilities Committee meeting with a recommendation to prepare a planning proposal to amend the LEP to enable dwelling densities, numbers and types provided within preferred concepts within the study.	
LP1.1b	Collaborate with Homes NSW to activate social housing in Ballina Shire	There were no updates from Homes NSW in this quarter with regards to social housing projects currently being pursued within the shire.	
LP1.3e	Engage with developer of Cumbalum Urban Release Area B (Kinvara) in development of the precinct	Development Services staff continue to engage with the developers in assessing the Development Application for Stage 1 of the CURA B precinct. Staff are awaiting further information requested from the applicant.	
LP1.3f	Investigate permissibility of dual occupancies on environmental purpose zoned land	A report was presented to Council's 11 March 2026 Environmental and Sustainability Committee meeting addressing correspondence objecting to the planning proposal (PP) from the Department of Climate Change, Energy, the Environment and Water received after Council's December 2026 resolution to finalise the LEP amendment.  At its March 2026 Ordinary meeting Council affirmed its endorsement of the PP for finalisation, and resolved to request that the Department of Planning, Housing and Industry finalise and make the LEP amendment.	
LP2.2b	Advocate for the Ballina Marina Master Plan	Representations have been made by Regional Development Australia (RDA) to the NSW Minister for Roads and Minister for Regional Transport requesting Ministerial intervention to progress the relocation of the Transport for NSW depot as an initial step toward the marina development. The hope is the Minister's office will contact Council to continue discussions. A formal response from the Minister's office to the RDA is expected in the coming weeks.	

8.8 Delivery Program and Operational Plan - 31 March 2026 Review


Code	Program Action	Comments	On Target?
LP2.3a	Investigate feasibility of high-density housing in Ballina CBD	An addendum to the high-density residential development feasibility study was completed in January 2026.	
LP2.3b	Implement Lennox Head Strategic Plan - Review underground car parking on commercial sites	This action relates in part to an LEP General Amendments Planning Proposal, which Council resolved to finalise at the 11 December 2025 Ordinary meeting. The Planning Proposal is currently proceeding through the finalisation process. It is anticipated this will be completed in the second quarter of 2026. Subsequent DCP amendments to car parking requirements within the commercial centre will be considered as part of Council's next general DCP amendments process.	
LP2.3c	Implement Lennox Head Strategic Plan - review floor area and maximum building height for Local Centre zone	Finalisation of the LEP amendment has been arranged with the NSW Parliamentary Counsel and Council is awaiting the making of the plan.	
LP2.3d	Implement Wardell Town Centre Revitalisation Master Plan	Detailed design for the "Connecting the River" stage of the plan is nearly complete. Installation of bollards in the Sinclair street median to prevent ongoing parking within the median, as proposed in the plan, is being progressed.	

**Civil Services Division**


**Assets Management**

Code	Program Action	Comments	On Target?
CC1.2a	Review Emergency Management Plan	The Ballina Emergency Management Plan was reviewed in May 2024 and does not require further review for another three years unless triggered by a change in relevant legislation or if required following the response to an incident or exercise. No triggers have occurred to date this financial year.	






**Resource Recovery**

Code	Program Action	Comments	On Target?
HE2.2e	Eliminate single use plastic packaging and materials across Council operations.	At the March 2026 meeting, Council adopted the following resolution to expand the scope of the plan: "That Council include the following action in the 2026/27 Operational Plan: Prepare and adopt an implementation plan to eliminate single use packaging and materials across all Council operations, Council sponsored or funded events, and activities held on Council owned or managed land." This action will be included in the 2026/27 Operational Plan.	





**Engineering Works**

Code	Program Action	Comments	On Target?
CC3.3p	Progress pathway from Lennox Head to Byron Bay Road	<p>Council has reached agreement with Byron Shire Council to progress the concept design of the pathway that will link the two shires. This project is currently unfunded. A grant application (prepared by Council with a letter of support from Byron Council) under the Get NSW Active program for this project was unsuccessful. We sought feedback on our application and the response from TfNSW indicates applications from each Shire would be preferred if they demonstrate connectivity. The program guidelines do not indicate how councils should manage applications that cross LGA boundaries. We have suggested to Byron Council that both councils make an application in the next round of the program.</p> <p>Council has submitted another application in December 2025 to the Get Active program. Anticipated assessment outcome date is April - May 2026.</p>	

8.8 Delivery Program and Operational Plan - 31 March 2026 Review






Code	Program Action	Comments	On Target?
CC3.3q	Progress pathway from Pearces Creek Road to Wollongbar Sports Fields	The concept design of a pathway along Pearces Creek Road to link the remaining section of the pathways to the Wollongbar sports fields was completed in the previous financial year. Cost estimates for the project are completed, and Council will continue to look for funding opportunities.	
CC3.3r	Review Pedestrian Access and Mobility Plan (PAMP) and Bike Plan	Council has decided to include the PAMP and bike plan review process into a wider Transport Network Plan. The Transport Network Plan will include two main components of a Road Network and an Active Transport Plan.  The Transport Network Plan is planned to be completed by February 2027 to help inform the 2027/28 Delivery Program.	
CC3.3s	Implement Pedestrian Access and Mobility Plan (PAMP) and Bike Plan	Works are completed on the shared path along Byron Bay Road through to Cooper Close. This grant project has been extended to ensure works are able to be completed in front of primary school during the school holidays.  Several small segments have been reconstructed as part of the renewals package and works are planned on a package of asphalt path repairs during April. The path projects on Westland Drive and Teven Road will be completed in the fourth quarter.	
EL3.3d	Provide road maintenance intervention actions	During the quarter, a total of 4,278 pothole defects were repaired, representing nearly double the long-term quarterly average of approximately 2,150 repairs. This is comparable to the last quarter due to similar weather conditions.  Additionally, 80 Category 2 potholes were repaired, which is an increase caused by the longer period of response over the New Year holiday period. A small percentage of the Category 1 potholes went beyond the 21 -day response.	
EL3.3e	Deliver annual unsealed rural road maintenance program	During the quarter, approximately 36,000 m <sup>2</sup> of gravel road pavement was graded, representing around 13% of the total unsealed road network. This is below our quarterly goal and is a direct result of staff being on Christmas leave for the early part of the quarter.	

8.8 Delivery Program and Operational Plan - 31 March 2026 Review


Code	Program Action	Comments	On Target?
HE1.1b	Implement Floodplain Management Plans and undertake Community Education	<p>Council has received confirmation that our applications were successful for the next stage of the floodplain management process. The project had three components:</p> <ul style="list-style-type: none"> <li>• Update of the Ballina Floodplain Risk Management Plan</li> <li>• Development of a flood Education Program</li> <li>• Development of a Flash Flood Forecast System - Council has received a letter of support from SES</li> </ul> <p>Council is also working alongside the NSW Reconstruction Authority to provide the community with property flood reporting. This will include detailed flood information and free Property Flood Certificates.</p>	
HE1.1c	Implement Overland Flood Studies in Urban Areas	<p>Overland flood studies for Alstonville, Lennox Head and Wardell are nearing completion. The flood models for the Lennox Head, Alstonville and Wardell overland flood studies have been configured, calibrated and verified. The study has now progressed to the third and final stage: identifying flooding issues and proposing and testing mitigation measures. The flood model for the Ballina Island and West Ballina Stormwater Master Plan has been configured, calibrated and verified. The study has completed impacts and mitigation measures for potential road raising options. The project is now in the fourth and final stage: identifying flooding issues and proposing and testing mitigation measures. Council has submitted funding grant applications for Overland Flood studies in East Ballina, Skennars Head and Wollongbar to complete the urban areas. Funding announcements will be in the fourth quarter.</p>	
HE1.2e	Implement Urban Stormwater Management Plan	<p>As part of the Local Government recovery fund, storm water projects at Alstonville and West Ballina designs have been undertaken. Several Alstonville projects have been completed in the first half of the 2025/26 financial year. Award for a package of works for the projects has been sent to the market with works to commence in fourth quarter. Storm water works for Lems Lane and Cliff Murray lane will commence in the fourth quarter. Design briefs and investigations are being prepared for Daintree Drive. Design works for the Rutherford street catchment area are being completed once the Lennox Head Overland flood study is complete.</p>	
LP1.3h	Develop Car Park Upgrade Program	<p>Council has collected all necessary data for the car park program. The program reported to 13 April 2026 Finance and Facilities Committee meeting.</p>	

## 8.8 Delivery Program and Operational Plan - 31 March 2026 Review



### Infrastructure Planning

Code	Program Action	Comments	On Target?
CC1.3e	Implement Council's Road Safety Plan	The 2025-26 Local Government Road Safety Projects for 'Bike Safety' and 'Caravan Safety' are proceeding and will be completed on-time. The 'Older Road User/On the Road 65+' project was withdrawn from the 2025-26 program due to the delay in funding and availability of project partners. This project has now been re-submitted for the 2026-27 program along with projects for 'Bike Safety' and 'Motorcycle Safety'.	
HE3.3a	Review Car Parking Developer Contributions Plan	The review and update are currently in progress.	
HE3.3b	Review Roads Developer Contributions Plan	The Ballina Strategic Road Network Study 2046 modelling has included some additional scenarios to assess future road links and intersection upgrade options. The consultant's draft report is expected in April 2026 for our consideration.	
HE3.3c	Review Open Spaces and Community Facilities Developer Contributions Plan	The review and update are currently in progress.	
HE3.3e	Review Cumbalum Urban Release Area Precinct A Contributions Plan	The CURA A precinct plan is operating satisfactorily but will require review to update infrastructure costs. This is linked to other contribution plan reviews.	


### Project Management Office

Code	Program Action	Comments	On Target?
LP1.3a	Progress delivery of Hutley Drive - Middle to southern section	Approval provided by NSW Planning, Fisheries and NSW Heritage. Office of Environment & Heritage response outstanding.  Offset planting on hold awaiting updated Ballina Shire Road Contributions Plan due in later 2026. Planning RFIs submitted and awaiting Council to issue Construction Certificate.	






8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
LP1.3b	Progress River Street Dual Laning	<p>Stage 1 and 2 complete. Stage 3 construction underway.</p> <p>Additional geotechnical testing undertaken by the contractor, agreed at tender, resulted in a conforming design that extended Ground Inclusions next to the proposed bridge from 8 metres to 35 metres. This solution was cost prohibitive.</p> <p>To provide a cost-effective solution the Principal has accepted the roadway may settle more than typically allowed in the engineering codes. This has resulted in approximately two months re-design by the contractor. Major construction will now commence in late April 2026; however, the project is still scheduled to conclude in late-2027.</p> <p>The major contract is subject to Rise and Fall, which will present a key cost risk moving forward. The temporary carpark near the boat ramp has been completed. Overhead power relocation has been awarded, and works are 50% complete.</p>	
LP1.3c	Progress Tamarind Drive Dual Laning	<p>Construction underway for duplication of Tamarind Drive between Kerr St and North Creek Road. Additional geotechnical testing undertaken by the contractor, agreed at tender, resulted in a conforming design that extended Ground Inclusions next to the proposed bridge from 15 metres to 35 metres. This solution was cost prohibitive.</p> <p>To provide a cost-effective solution the Principal has accepted the roadway may settle more than typically allowed in the engineering codes. This has resulted in approximately two months re-design by the contractor. Major construction will now commence in April 2026; however, the project is still scheduled to conclude in late-2027.</p> <p>In February Council resolved to remove the proposed shared path on the southern side of Tamarind Drive to improve visual amenity at this key entrance to Ballina. The major contract is subject to Rise and Fall, which will present a key cost risk moving forward.</p> <p>The overhead power relocation requires long lead items procured from overseas which could result in contract delays. The project is now pursuing an electrical redesign which will reduce procurement delays.</p>	



## 8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
LP1.3d	Progress design and approvals for North Creek Road Bridge reinstatement	In December Council deferred the decision to retain or discard the project, until an update to the Ballina Shire Roads Contribution Plan is reported to Council later in 2026. Council endorsed the exhibited concept design, with updates reported to 12 December 2025 Ordinary meeting.	

### Water and Wastewater

Code	Program Action	Comments	On Target?
HE2.1a	Improve water and wastewater quality data	Preparing to implement new software to digitalise and align the data capture involved in all water meter activities (new installs, meter read data, replacements, smart metering). All current systems rely on paper-based data transfer and will be replaced from 1 July 2026. Project to review asset management data and asset register in preparation for load into a new asset and works management software solution is progressing as planned.	
HE2.1b	Provide recycled water to dual reticulated properties	There were 21 new properties connected to the dual reticulation network during the quarter, taking the total number of properties with recycled water to 3,041.	
HE2.1h	Achieve strategic planning assurance	Lennox Head WWTP master plan is progressing with input from DCCEEW. Quotations received for the preparation of the Alstonville WWTP master plan. The contract is expected to commence in Q4. A grant deed from DCCEEW for 25% of the contract cost has been executed.	
HE2.1i	Implement Water Loss Reduction Program	The non-revenue water calculation for the quarter is 13.1%. This is an annualised result to mitigate the impacts of seasonal variation and timing of water meter reading. Leak detection on Wardell trunk main to be undertaken in April/May. Water Meter replacement program continues. Planning for four new flow meter installations to improve tracking of unaccounted for water in the shire.	
HE2.1k	Recycled Water Master Plan review	Completion of aspects of the Lennox Head WWTP Master Plan is a prerequisite to this project. Availability of recycled water based on projected inflow and plant capacity has been assessed for the Lennox Head WWTP catchment. This and other information are being assembled as inputs to review of the plan which will commence later this year.	

8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Code	Program Action	Comments	On Target?
HE2.1l	Supply recycled water from the Ballina Wastewater Treatment Plant	<p>Monitoring of the process continues with significant progress having been made in resolving the operational issues associated with the major plant items.</p> <p>Design for the replacement of the pumps in the biosolids digester has uncovered some additional process issues which are also being investigated.</p> <p>These matters all need to be resolved satisfactorily and the plant operating consistently before any application to DCCEEW for approval to produce recycled water can be lodged.</p>	
HE3.2f	Implement Trade Waste Management Program	<p>There are currently 383 active trade waste businesses in the register of trade waste customers.</p> <p>327 (85%) of these businesses are currently operating with a valid approval; 34 (9%) businesses have an expired approval or an approval that is currently being reviewed, and the remaining 22 businesses (6%) are operating with no approval.</p>	



**Service Delivery Indicators  
31 March 2026 Review**

**Corporate and Community Division**

**Commercial Services (Airport)**

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Number of passengers for Ballina Byron Airport (# pa)	527,600	632,500	620,400	611,000	> 600,000	584,600	●	March 2026 figures were a significant improvement over those figures recorded for the previous March.
Operating revenue for Airport (\$ pa)	\$7,025,000	\$8,821,000	\$8,887,000	\$9,438,000	>\$10,000,000	\$7,953,000	●	On track to meet annual target.
Operating surplus for Ballina Byron Airport (>30% of revenue)	44%	29%	24%	25%	> 30%	33%	●	On track to meet financial targets. The new airline agreements are improving the sustainability of airport operations.

**Commercial Services (Property)**







Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Maximise revenue generated from Councils commercial properties (\$ pa)	\$2,488,000	\$2,573,000	\$2,576,000	\$2,649,000	> \$2,500,000	\$2,118,000	●	On track to meet annual revenue budget.
Minimise vacancy rate for Council owned commercial properties (%)	0%	0%	0%	0%	< 10%	35%	●	DCJ vacated 89-91 Tamar Street, Ballina. This building comprises an area of 2,012m2 representing 34.70% of the total 5,798m2 of commercial and retail space in Council's property investment portfolio.
Monitor capital works to ensure they are completed on time and within budget (within 20% of budget)	121%	50%	92%	60%	≤ 120% ≥ 80%	68%	●	
Operating revenue for Flat Rock Tent Park (\$ pa)	\$369,000	\$554,000	\$571,000	\$538,000	> \$600,000	\$453,000	●	On track to meet budget, with similar results in previous years.

8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Communications and Customer Service

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Comply with customer service standards for management of complaints within 15 days (%)	82%	81%	85%	88%	> 80%	95%		A total of 19 complaints received in the third quarter, with 95% responded to within the timeframe.
Enquiries to Visitor Information Centre (# pa)	33,000	33,168	41,400	35,200	> 35,000	27,000		Enquiry levels have been sustained this quarter, with the Visitor Information Centre meeting target. This result is comparable to the same quarter last year, which was also impacted by the effects of Cyclone Alfred. Some impacts to visitation are likely, with flow-on effects expected to be reflected in April (Easter) figures and overall year-end performance due to cancellation of Bluesfest and fuel prices.
Lennox Head Community Hall (Hutley Drive) (Target 15% > 800 hrs p.a.)	N/A	N/A	N/A	733	> 800	529		Staff continue to promote the venue as an alternative when other facilities are booked. Demand is expected to continue growing, with confidence the annual target will be met.
Minimise operating deficit for Community Facilities (excluding depreciation) (\$ pa)	(\$420,000)	(\$77,000)	(\$293,000)	(\$259,000)	< \$380,000	(\$99,000)		On track to meet annual target, with an exceptional effort in reducing the operating expenditure which has improved the overall operating deficit.
Northlakes Community Centre Use (Target 20% > 1,000hrs p.a.)	N/A	N/A	N/A	1,308	> 1,000	836		On target and expected to meet the annual target, with a new regular hirer using the hall daily for jiu-jitsu.
Number of attendees at library programs (# pa)	8,463	12,143	20,400	18,800	> 20,000	12,400		Year to date library program attendees is below target as Ballina Library was operating in a pop-up location with reduced hours and reduced capacity for programming.



8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Number of bookings for the Ballina Indoor Sports Centre Courts (57% = 4,000hrs p.a.)	2,540	3,816	4,109	4,720	> 4,000	3,876		Demand for additional access remains high, with sporting association and BCHS bookings fully utilising daily court availability. Some sporting groups are seeking additional time; however, court availability is constrained. Court 4 at BCHS is largely unavailable due to its use as a performance space, leaving only three courts available. Casual play is also limited due to the volume of structured bookings.
Number of bookings for the Ballina Indoor Sports Centre Meeting Rooms (55% = 2,400hrs p.a.)	1,522	2,561	1,912	2,223	> 2,400	1,885		High usage with small group NDIS programs and community groups. Accessibility, amenities and staff on site assist with booking process and customer satisfaction.
Number of bookings for the Ballina Surf Club (40% = 2,500hrs pa)	5,104	3,531	2,641	2,560	> 2,500	2,143		Bookings are on track to meet the annual target.
Number of bookings for the Kentwell Centre (25% =5,000 hrs pa)	5,540	6,884	6,846	4,950	> 5,000	2,637		Bookings decreased following the removal of the 50% discount for government agencies, with Department of Communities and Justice (DCJ) reducing use of the interview rooms.
Number of bookings for the Lennox Head Cultural Centre - Auditorium (25% =700 hrs pa)	587	1,406	699	633	≥ 700	469		
Number of bookings for the Lennox Head Cultural Centre Meeting Rooms (45% = 6,500hrs pa)	5,396	9,422	8,298	7,655	> 6,500	5,699		Improved usage due to Church using foyer and Activities Room.

8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Number of bookings for the Richmond Room (30% >1,400hrs pa)	2,092	2,839	1,530	1,970	> 1,400	1,008		Bookings tracking well, with regular hirers such as the Blood Bank, RSL Lighthouse Day Club, and other community groups.
Number of enquiries at the library (door count # pa)	N/A	N/A	187,800	170,000	> 170,000	109,319		On track to meet target, however prior quarters for library visits have been low due to refurbishment works at Ballina library.
Number of grant applications submitted (total Council) (#)	23	30	29	31	> 30	16		Seven applications submitted this quarter, six fewer than the same period in 2024/25, due to reduced grant availability. Applications submitted include Accessible Australia (VIC beach wheelchair), Flood Risk Awareness (flood portal), Boating Infrastructure Maintenance (boat ramp repairs), Youth Week (activities), Active Regional Communities EOI (Alstonville Cultural Centre), Coastal and Estuary Program (coastal vulnerability areas), and Litter Prevention Grant (Litter Prevention Roadmap).
Number of visits to Council website (#)	660,200	489,047	521,000	619,300	> 550,000	159,000		The team are currently working to optimise content based on enquiries reported by Customer Service to help reduce calls, and to improve pages for Resource Recovery Centre and People & Culture, based on frequently used search terms.
Number of visits to tourism website (# pa)	105,000	119,996	135,000	142,700	> 120,000	96,197		The most visited pages this quarter were: What's On, business listings, Killen Falls and the Big Prawn.

8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Percentage of customer requests dealt with effectively and promptly (% within allocated timeframe)	N/A	N/A	91%	89%	> 90%	94%		10,457 out of 11,164 closed within target for nine month period from 1 July 2025 to 31 March 2026.
Proportion of satisfied visitors to Ballina Visitor Information Centre (%)	98%	100%	99%	100%	> 98%	100%		100% satisfaction with the Ballina VIC, with reviews highlighting great gift options for friends and family and helpful, friendly staff.
Total library loans (# pa)	237,764	332,741	352,600	355,700	> 330,000	236,046		Loans may be slightly below targets for the year due to reduced operations of the libraries with various construction work undertaken in 2025/26 in all three libraries.
Total library membership for Ballina Shire (excluding inactive for three years) (#)	21,251	19,664	19,400	19,500	> 19,300	19,468		<p>The Quarter 1 and Quarter 2 figures were overstated due to previous reporting methods.</p> <p>The Quarter 3 actual of 19,468 is accurate, reflecting the implementation of updated reporting software by RTRL.</p> <p>Historically, membership was calculated using spreadsheets, which were subject to manual error. The new system provides improved accuracy through consistent criteria e.g. removal of inactive members.</p> <p>The current figure closely aligns with 2024/25 results (approximately 19,500) that informed the adjustment of the annual target for 2025/26.</p>



8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Facilities Management


Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Increase renewable energy generated on Council sites (kW pa)	956	1,120	1,153	1,153	> 1,200	1,191	●	Generating capacity remains static, as per prior quarters.
Maximise operating surplus from fleet operations (excluding depreciation) (\$ p.a.)	\$2,300,000	\$1,997,000	\$1,532,000	\$2,156,000	> \$2,100,000	\$1,694,000	●	On track to make budget, plant income trending higher than forecast.
Minimise light fleet greenhouse gas (CO2) emissions (av. grams per km)	192	191	197	195	< 200	195	●	On target
Minimise operating deficit for the swimming pools (excluding depreciation and loan interest) (\$ pa)	(\$308,000)	(\$287,100)	(\$259,000)	(\$488,000)	< (\$510,000)	(\$211,000)	●	
Number of swimming pool patrons (# per annum)	228,000	272,495	279,000	263,100	> 260,000	190,000	●	Patronage is less than 2024/25.
Reduce CO2 emissions from Council's built assets (# tonnes)	8,428	7,385	9,450	7,630	< 9,000	2,257	●	Results are significantly lower than 2024/25 emissions.
Reduce the energy consumption from Council's built assets (MWh)	9,915	9,348	9,675	9,572	< 10,000	7,377	●	2.35 MWhrs represents a 7% decrease in electricity consumption for the same period 2024/25

8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Financial Services


Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Investment returns greater than 90 day bank bill rate (# basis points above benchmark)	31	5	76	92	> 50	80		
Minimise the value of store stock control bin errors (\$)	\$5,860	(\$4,167)	(\$9,121)	(\$677)	< \$500	(\$2,497)		A cyclical stocktake was completed in March 2026 and resulted in an overall net write-on of \$2,497.  There were 10 stock lines with more in stock when counted than what was recorded in the system. Of those, two stock lines were responsible for the majority of the \$ variance. It is believed that these items had been physically returned to stock without the corresponding entry in the system. This was partially offset by small write-offs for 23 stock lines.

Governance






Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Number of insurance claims (# pa)	24	19	31	28	< 30	10		No insurance claims this quarter.

8.8 **Delivery Program and Operational Plan - 31 March 2026 Review**

**Information Services**









Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Percentage of employee requests for technology assistance addressed within one working day (%)	81%	81%	80%	77%	> 85%	80%		Improvement from 77% to 80% over the past quarter.

**People and Culture**

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Average number of days sick leave per employee (# days pa)	10	9	10	9	< 12	12		
Hours of lost time due to workers' compensation claims (# hours pa)	781	593	389	2,704	< 1,000	2,492		Seven claims contributed to lost time over the period with one claim a significant contributor.
Number of workers' compensation claims (# pa)	18	15	23	21	< 20	21		Seven claims included for the quarter. While claim volumes are above target, prevention remains a priority. Actions include follow up of incidents and near misses, and closer collaboration with supervisors to address safe work practices.
Percentage of staff turnover per year (%)	12%	17%	13%	13%	< 15%	10%		
Percentage of staff undertaking formal training per year (%)	94.00%	96%	89%	97%	> 80%	92%		

**Planning and Environmental Health Division**

**Development Services**

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Determine Development Applications within 105 days (including modifications)	N/A	N/A	N/A	N/A	≤ 105	76		76% of development application, including modification applications, were determined within 105 days.
Development application reviews completed within 7 days to comply with Ministerial Expectation Order	N/A	N/A	N/A	N/A	≤ 7	86		86% of adequacy reviews completed within 7 days.
Number of Section 68 Approvals issued for plumbing and drainage work (# pa)	464	498	320	288	> 450	216		This figure aligns with the reduced number of new dwelling house builds.
Percentage of building information certificates determined within 30 working days (%)	77%	43%	34%	34%	> 90%	25%		This figure reflects the continued high volume and complexity of unauthorised development and construction activity.
Percentage of complying development certificates issued within 10 working days (%)	40%	0%	87%	42%	> 80%	40%		Focus has remained on the Minister's Order of Expectations around assessment and determination of development applications
Percentage of construction certificates issued by Council (% of market)	42%	30%	31%	26%	> 30%	24%		57 construction certificates have been issued by Council to date out of a total number of 234 construction certificates issued within the Shire (private certifiers and Council)
Percentage of DA applications determined under delegated authority (%)	99%	99%	98%	98%	> 95%	98%		
Percentage of Section 10.7 certificates issued within seven days of receipt (%)	95%	94%	96%	94%	> 90%	98%		

## 8.8 Delivery Program and Operational Plan - 31 March 2026 Review



### Open Spaces

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Monitor capital works to ensure they are completed on time and within budget (within 20% of budget)	89%	70%	71%	82%	≤ 120% ≥ 80%	84%	●	
Monitor operating budgets to comply with approved funding (within 5% of budget)	96%	108%	107%	108%	≤ 105% ≥ 95%	80%	●	Trending continues higher across all areas of Open Spaces operation
Number of events approved by Council (#)	15	22	80	89	> 40	81	●	High number of events continue to be held, with notable events this quarter including Rotary Duck Race, Far North Coast Regional Surfing Titles and Melanoma March.
Number of filming approvals in accordance with NSW Filming Protocol (# pa)	4	10	43	48	> 20	15	●	Minor, small scale filming events undertaken this quarter. Expected to achieve target by end of financial year




### Public and Environmental Health

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Seven Mile Beach 4WD permits and trip numbers monitored	N/A	N/A	N/A	N/A	<1,700	1,496	●	2,330 vehicles accessing the site in this quarter and 8,507 for YTD (13,906 vehicles for 2024/25). 516 new permits issued (412 x 6 month permits; 104 x yearly - 12 month permits. There was a 7.68% non-compliance rate (179 vehicles without permits). A total of 1,496 permits issued to date this financial year.
High risk commercial premises audited (> 2 p.a.)	25	21	22	5	≥ 2	25	●	11 inspections completed last quarter.




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Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Non-compliance with National Health and Medical Research Council drinking water standards (#)	1	0	0	0	= 0	0		
Number of high risk school zones patrolled (# pa)	70	68	60	298	> 36	206		69 school zone patrols were conducted this quarter.
Number of On-Site Sewage Mgmt (OSSM) Systems - Approvals to Install issued (# pa)	69	72	65	52	> 50	15		Six ATI during last quarter, installations demand low and will likely increase following the commence of the audit program again.
Number of On-Site Sewage Mgmt (OSSM) Systems - Approvals to Operate issued (# pa)	299	202	135	163	> 150	69		16 ATO's issued last quarter and likely the demand for approvals with increase with the commence of the audit program.
Number of On-Site Sewage Mgmt (OSSM) Systems inspected per annum (# pa)	109	298	304	123	> 200	57		18 Inspections conducted last quarter and with recent recruitment of officers, the OSSM audit program to commence again and inspections will increase in high risk catchments.
Percentage of barking dog complaints responded to within seven days (%)	98%	96%	97%	99%	= 100%	100%		
Percentage of drinking water sites monitored per week (%)	100%	100%	100%	100%	= 100%	100%		
Percentage of food premises audited per year (%)	79%	100%	100%	80%	= 100%	73%		106 inspections were completed last quarter, 72.5% complete. The recent successful recruitment of health officers has enabled this program to now be resourced and given a high priority.

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Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Percentage of public pools (as defined in the Public Health Act) monitored for water quality (% pa)	80%	100%	100%	100%	= 100%	100%		
Percentage of reported dog attacks responded to within 48 hours (%)	96%	98%	99%	98%	= 100%	99%		
Percentage of semi-public pools monitored for water quality (% pa)	60%	100%	100%	100%	≥ 33%	100%		

**Strategic Planning**


Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Level of engagement to Northern Rivers Community Gallery online platforms (# pa)	23,371	33,971	373,000	514,000	> 340,000	541,138		
Minimise operating deficit for the Community Gallery (excluding depreciation) (\$ pa)	(\$264,000)	(\$270,000)	(\$310,000)	(\$371,000)	< \$370,000	(\$249,000)		
Number of visitors to the Northern Rivers Community Gallery (# pa)	8,010	11,677	15,100	13,300	> 15,000	10,356		Visitation was a little slow and similar figures to last quarter. Number of visitors is just below the annual visitation target.

### Civil Services Division



#### Assets Management and Resource Recovery

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Increase kerbside recycling diversion rates (%)	60%	58%	57%	55%	> 59%	61%		
Reduce missed kerbside bin services (# per month)	17	8	8	9	< 27	14		


#### Resource Recovery

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
100% compliance licence reports for waste submitted within 30 days of quarter (%)	100%	100%	100%	100%	= 100%	100%		


#### Engineering Works

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Minimise operating deficit for the Burns Point Ferry (excluding depreciation) (\$ pa)	(\$460,000)	(\$442,000)	(\$532,000)	(\$429,000)	< (\$510,000)	(\$425,000)		Minor operation requirements to ensure new gates and configuration are working efficiently
Monitor capital works to ensure they are completed on time (within 20% of budget)	80%	95%	82%	75%	≤ 120% ≥ 80%	38%		The overall capital works program is heavily back ended due to the bridge duplication projects. Stabilisation package is nearing completion and several externally delivered projects booked in for final quarter





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Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Monitor operating budgets to comply with approved funding (within 5% of budget)	90%	98%	98%	97%	≤ 105% ≥ 95%	75%		

**Infrastructure Planning**

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Percentage of development application referrals completed within 21 days (%)	70%	76%	64%	65%	> 70%	71%		N/A




**Water and Wastewater**

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
100% compliance licence reports for water and wastewater submitted within 30 days of quarter (%)	100%	100%	100%	100%	= 100%	100%		
Average water consumption per residential connection (# kl/pa)	148	139	153	136	< 160	155		
Level of compliance with Environmental Protection Licence Concentration Limits (%)	98%	97%	100%	99%	= 100%	100%		
Maximise percentage of Recycled Water Reticulation Monitoring Compliance in Ballina and Lennox Head (Chemical and Physical) (% with AGWR)	100%	98%	100%	98%	= 100%	100%		

8.8 Delivery Program and Operational Plan - 31 March 2026 Review

Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Maximise percentage of Recycled Water Reticulation Monitoring Compliance in Ballina and Lennox Head (Microbial) (% with AGWR)	99%	100%	100%	100%	= 100%	100%		
Minimise number of notifiable pollution incidents triggering formal regulatory response (#)	6	0	6	1	= 0	1		One Sewer Main break at Wollongbar triggering pollution incident response.
Minimise number of notifiable Recycled Water Health Incidents at the Wastewater Treatment Plants (#)	1	0	0	0	= 0	0		
Minimise the Volume of Unaccounted Water by replacing old Water Meters	N/A	N/A	N/A	N/A	> 4%	4%		Actual result 3.53%. Total is cumulative for the year to date. Ahead of target currently.
Monitor capital works to ensure they are completed on time and within budget (within 20%)	62%	79%	80%	81%	≤ 120% ≥ 80%	61%		Water at 57%, Wastewater at 62% for a combined total of 61%.
Monitor operating budgets to comply with approved funding (within 5% of budget)	95%	95%	90%	99%	≤ 105% ≥ 95%	73%		Wastewater operations is 70% and water operations is 76% for a combined result of 73%.
Number of unplanned water supply interruptions greater than four hours in duration (#)	4	0	0	0	= 0	1		Supply interruption was due to a break in a Rous County Council main.
Percentage of drinking water reticulation monitoring compliance with ADWG (Chemical and Physical) (%)	100%	100%	100%	100%	= 100%	100%		
Percentage of drinking water reticulation monitoring compliance with ADWG (Microbial) (%)	100%	100%	100%	100%	= 100%	100%		

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Service Delivery Indicator	21/22	22/23	23/24	24/25	2025/26 Indicator	2025/26 March	On Target Y/N	Comments
Percentage of fire hydrants inspected per annum (%)	42%	44%	36%	40%	> 50%	33%		Programming works to be on target by 30 June.
Recycled water during dry weather (% ADWF)	13%	9%	3%	4%	> 10%	7%		
Reduce water main breaks (# per 30km of main)	1	0	1	0	< 1	1		Actual cumulative result to 31 March 2026 is 0.86.



